

Gardnerville Town Board

AGENDA ACTION SHEET



1. **For Possible Action: Discussion on outstanding projects:**
 - a. Hellwinkel Shop - Phasing, engineering, construction
 - b. Hellwinkel Barn – plans (plans needed for grant applications), phasing, construction, materials
 - c. Fronton/Office – put on hold
 - d. Gardnerville Station storage – plans, materials, cost estimate
2. **Recommended Motion:**
Funds Available: ☐ Yes ☒ N/A
3. **Department: Administration**
4. **Prepared by: Geoff LaCost**
5. **Meeting Date: April 2, 2019**
6. **Agenda:** ☐ Consent ☒ Administrative

Background Information:

We as a town need to prioritize the goals and achievable tasks in the coming year. Looking at these 4 projects and available funds we would like to review project statuses and ask for board direction for priorities.

- A. The Hellwinkel Shop (Barn B) estimate from Dube' Group is \$130,762
 - a. We have \$65,000 Budgeted in 610-923-562.000
 - i. To utilize available funds and to make the shop effective with minimally damage to the structure I recommend:
 1. Concrete \$18,000
 2. Electrical \$23,040
 3. Interior Shear \$19,840
 4. Repair OH Doors \$800
 5. New man doors \$2,400
 - a. Total approx. \$64,000
 - ii. We can transfer funds from another project to complete the entire project if the board deems it appropriate.
 - iii. The Structural Engineer recommends removing all the outside metal sheathing (skin) ,replacing the purlins (bones in the roof), installing plywood on the roof and sidewalls, reinstalling the metal sheathing (skin), caulking old nail holes in all of the sheathing.
 - iv. We could get another opinion from another structural engineer.

- B. Hellwinkel Barn (Barn A) verbal estimate from the dube' group put the structural repairs estimate in the range of \$200,000 - \$300,000.
- a. As the structural columns are all sitting on concrete pillars it may be more cost effective to take the barn to the ground and rebuild utilizing the existing wood with the correct shear strength. This is of course pending SHPO approval.
 - b. Dube was requested to put a set of plans together so we can apply for grants.
 - c. This may be a good CDBG grant opportunity.
 - d. I do not see this being complete in the next 2 years.
- C. Fronton/Office is put on hold for the time being.
- a. We have budgeted in the CIP \$200,000 in 5 years to start or bond for a Town Hall on the front of the Ezell/Gilman property.
 - b. The Fronton or cultural center could be part of a community fundraiser. We are looking to provide an opportunity for a community leader to step up and champion the project for the Fronton.
- D. The Gardnerville Station would benefit from additional storage area.
- a. Currently we store the tables and chairs in the open meeting room which is unsightly.
 - b. Dube' group estimated the cost would be \$35,431 for a 16' long x 5'4" wide area to be built on the back side with similar structural material as the existing building.
 - c. This project is not funded at this time pending Town Board Priorities

Plans for barn are larger than 11X17. They will be provided on Monday or at the meeting.

7. **Other Agency Review of Action:** ☐ Douglas County ☒ N/A

8. **Board Action:**

- | | |
|--|---|
| ☐ Approved | ☐ Approved with Modifications |
| ☐ Denied | ☐ Continued |

Louthan, Carol

From: Peter Dube <pete@thedubegroup.com>
Sent: Wednesday, March 27, 2019 3:43 PM
To: Louthan, Carol
Subject: Hellwinkel Barn "B" Maintenance | Storage

CAUTION: This email is from an external source. Use caution when clicking links or opening attachments.

Hi, Carol – here is my estimate for Barn B...

Hellwinkel Barn B Maintenance Storage						
27-Mar-19						
		Quantity	Unit	Cost	Extended	
1	Concrete	1200	SF	\$ 15.00	\$ 18,000.00	
2	Electrical	1920	SF	\$ 12.00	\$ 23,040.00	
3	Interior shear	1984	SF	\$ 10.00	\$ 19,840.00	
4	Rafters, sheathing	1920	SF	\$ 15.00	\$ 28,800.00	
5	Repair windows	9	EA	\$ 250.00	\$ 2,250.00	
6	Repair o/h doors	2	EA	\$ 400.00	\$ 800.00	
7	New man doors	3	EA	\$ 800.00	\$ 2,400.00	
8	Repair metal panels	3392	SF	\$ 2.50	\$ 8,480.00	
9	Misc. labor and mat'l	1	LS	\$ 1,000.00	\$ 1,000.00	
					\$ 104,610.00	Subtotal 1
10	General Conditions	25	%	\$26,152.50	\$ 26,152.50	
					\$ 26,152.50	Subtotal 2
					\$ 130,762.50	Construction Estimate

Peter R. Dubé NCARB | AIA | LEED Green Associate
NV2443 | CA23129 | AZ31755 | OR6131 | WA11720

Certified Nevada Local Emerging Small Business



dubé group

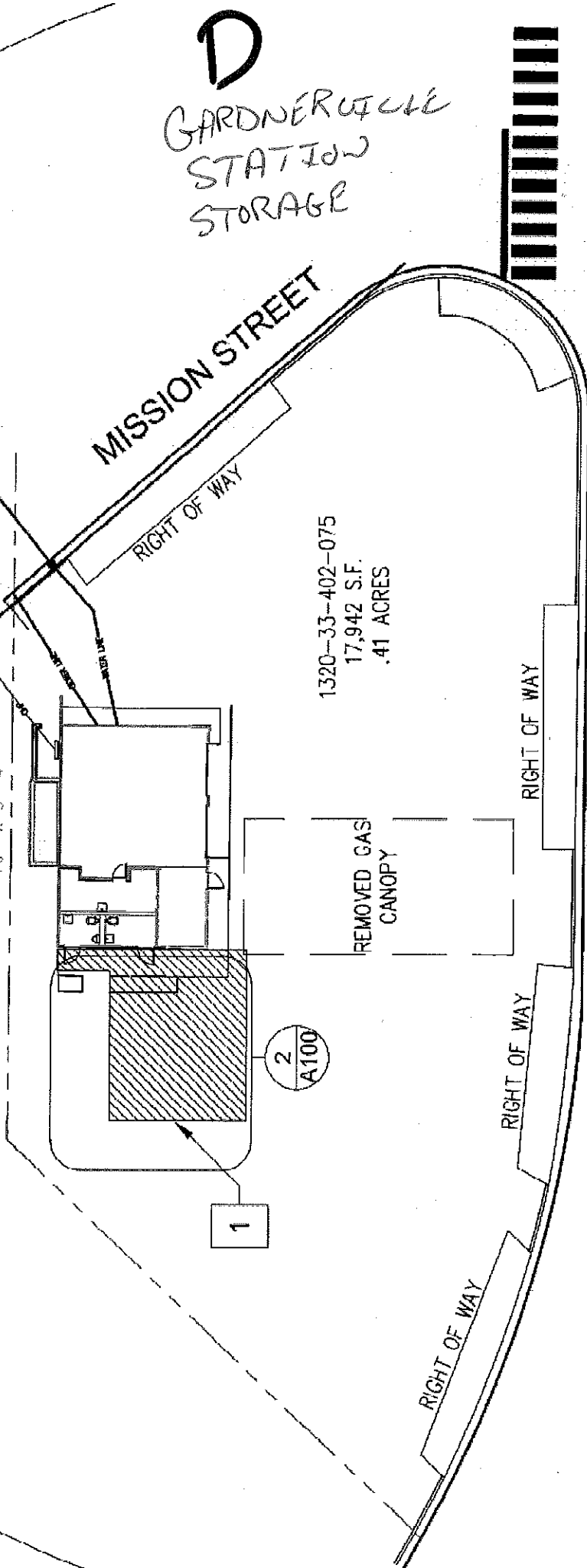
458 Court Street | Reno | Nevada | 89501

p | 775.323.1001
f | 775.323.2220
e | pete@thedubegroup.com

STORAGE



new rear addition
16' x 51'-4"



D
GARDNER VEHICLE
STATION
STORAGE

MISSION STREET

RIGHT OF WAY

1320-33-402-075
17,942 S.F.
.41 ACRES

REMOVED GAS
CANOPY

RIGHT OF WAY

HWY 395 N

RIGHT OF WAY

RIGHT OF WAY

EXISTING SITE PLAN

1" = 20'

D - GARDNERVILLE STATION STORAGE

Louthan, Carol

From: Peter Dube <pete@thedubegroup.com>
Sent: Wednesday, March 27, 2019 10:33 AM
To: Louthan, Carol
Subject: RE: G'ville Station

CAUTION: This email is from an external source. Use caution when clicking links or opening attachments.

Hi Carol – I am still waiting for my structural number so I have a plug in for him. Here is the breakdown of our best guess estimate of the total project cost:

Gardnerville Station Storage Room Addition					
27-Mar-19					
		Quantity	Unit	Cost	Extended
1	Permitting, etc.	1	LS	\$ 1,500.00	\$ 1,500.00
2	A/E fees	1	LS	\$11,100.00	\$ 11,100.00
					\$ 12,600.00 Subtotal 1 Soft Costs
3	Demo	1	LS	\$ 2,000.00	\$ 2,000.00
4	Excavation	1	LS	\$ 3,000.00	\$ 3,000.00
5	Concrete footings	2	CY	\$ 200.00	\$ 400.00
6	Concrete slab	2	CY	\$ 300.00	\$ 600.00
7	CMU	267	SF	\$ 12.00	\$ 3,204.00
8	Misc reinforcing	1	LS	\$ 1,000.00	\$ 1,000.00
9	Rough carpentry	1	LS	\$ 1,500.00	\$ 1,500.00
10	Wood rafters	86	SF	\$ 5.50	\$ 473.00
11	Sheathing	86	SF	\$ 3.00	\$ 258.00
12	Asphalt roofing	1	SQ	\$ 330.00	\$ 330.00
13	Misc trim & finish	1	LS	\$ 500.00	\$ 500.00
14	Double door	1	LS	\$ 2,500.00	\$ 2,500.00
15	Lighting	1	LS	\$ 2,500.00	\$ 2,500.00
					\$ 18,265.00
16	General Conditions	25	%	\$ 4,566.25	\$ 4,566.25
					\$ 22,831.25 Subtotal 2 Hard Costs
					\$ 35,431.25 Total Project Cost

From: Louthan, Carol <Clouthan@douglasnv.us>
Sent: Wednesday, March 27, 2019 8:21 AM
To: Peter Dube <pete@thedubegroup.com>
Subject: RE: G'ville Station

PROJECT TITLE AND ADDRESS

TOWN OF GARDNERVILLE
HELLWINKEL BARN (B)

1381 N HWY 395
APN #1320-33-402-088



dubé group
ARCHITECTURE

458 Court St. | Reno, NV 89501
www.thedubegroup.com
p | 775.323.1001 f | 775.323.2220



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 633.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:
HELLWINKEL BARN
BARN (B)

JOB NUMBER: 17-800
DATE: 11/15/2017
DRAWN BY: ARL
CHECKED BY: PRD
REVISIONS:

SHEET DESCRIPTION:
TITLE SHEET
APPLICABLE CODES
INDEX TO DRAWINGS

SHEET NUMBER:

G100

PROJECT DIRECTORY

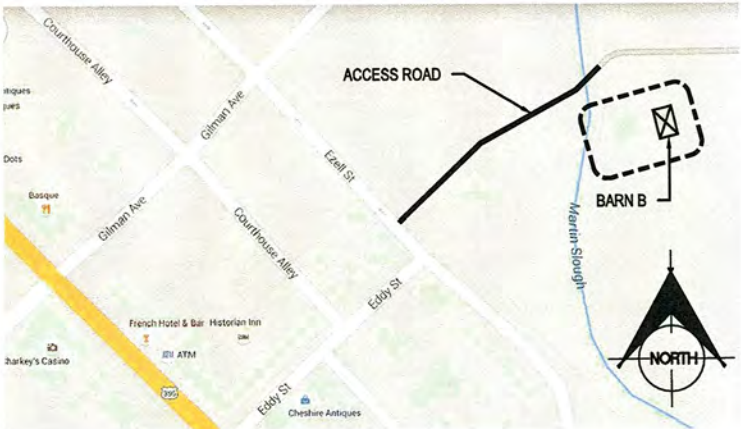
OWNER:
TOWN OF GARDNERVILLE
CONTACT: TOM DALLAIRE
CITY MANAGER
1407 HIGHWAY 395 N
GARDNERVILLE, NV 89410
(775) 782-7134
WWW.GARDNERVILLE-NV.GOV

ARCHITECT:
THE DUBÉ GROUP
458 COURT STREET
RENO, NEVADA 89501
(775) 323-1001
WWW.THEDUBEGROUP.COM

ELECTRICAL ENGINEER:
??? ENGINEERING
???
RENO, NV 89502
(775) ???-????
WWW.????.COM

STRUCTURAL ENGINEER:
HYTTINEN ENGINEERING
5458 LONGLEY LANE SUITE B
RENO, NV 89511
(775) 826-3019
WWW.HYTTINENENGINEERING.COM

VICINITY MAP



LOCATION ON SITE



INDEX TO DRAWINGS

GENERAL
G100 - TITLE SHEET
G101 - GENERAL NOTES

ARCHITECTURAL
A101 - FLOORPLAN
A201 - ELEVATIONS
A301 - BUILDING SECTION
A501 - DETAILS

STRUCTURAL
S0.1 - STRUCTURAL COVER SHEET / GENERAL NOTES
S1.1 - TYPICAL DETAILS
S5.1 - GROUND LEVEL PLAN / ROOF FRAMING PLAN
S5.2 - BUILDING SECTION- EXISTING CONDITION
S5.3 - BUILDING SECTION- IMPROVEMENTS
S6.1 - SITE PHOTO IMAGES

ELECTRICAL
E000 - ELECTRICAL

APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2011 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE - "IECC"
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL URBAN WILDFIRE INTERFACE FIRE CODE FOR THE LAKE TAHOE AREA

PROJECT INFORMATION

PROPERTY ADDRESS: 1381 N HWY 395
APN: 1320-33-402-088
PROPERTY OWNER: TOWN OF GARDNERVILLE
1407 N HWY 395
ACRES: 7.82
YEAR BUILT: 1940
ZONING:
NO. OF STORIES:

ABBREVIATIONS:

A.C.	ASPHALT CONCRETE
ACOUS.	ACOUSTICAL
ADDTN	ADDITION
ADJ.	ADJUSTABLE OR ADJACENT
A.F.F.	ABOVE FINISH FLOOR
AGGR.	AGGREGATE
ALT.	ALTERNATE
ALUM.	ALUMINUM
ASB.	ASBESTOS
AUTO	AUTOMATIC
@	AT

BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
BR.	BRONZE
BRG.	BEARING
BTWN	.BETWEEN

CAB.	CABINET
C.B.	CONCRETE BLOCK
CEM.	CEMENT
CER.	CERAMIC
C.F.M.	CUBIC FEET PER MINUTE
C.I.	CAST IRON
C.J.	CONTROL JOINT
CLG.	CEILING
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUE(OUS)
COOLING	COOLING
CT.	CERAMIC TILE
CTR.	COUNTER
CTSK.	COUNTERSINK
C.W.	COLD WATER
¢	CENTERLINE

D	DEPTH
DBL.	DOUBLE
DET.	DETAIL
DESC.	DESCRIPTION
D.F.	DOUGLAS FIR
D.F.	DRINKING FOUNTAIN
DIM.	DIMENSION
DISP.	DISPOSAL
DN.	DOWN
DR.	DOOR
DRWG.	DRAWING
DS.	DOWNSPOUT
Ø	DIAMETER

E	EAST
(E)	EXISTING
EA.	EACH
ELEC.	ELECTRIC(AL)
ELEV.	ELEVATION
EQ	EQUAL
EQPT.	EQUIPMENT
E.W.	EACH WAY
EW	ELECTRIC WATER COOLER
EW	ELECTRIC WATER HEATER
EXH.	EXHAUST
EXP.	EXPOSED
EXP. JT.	EXPANSION JOINT
EXT.	EXTERIOR

FD.	FLOOR DRAIN
FEC.	FIRE EXTINGUISHER CABINET
F.F.	FINISHED FLOOR
F.F.E.	FINISH FLOOR ELEVATION
FFHB	FROST FREE HOSE BIBB
FG.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.	FLOOR OPENING
F.O.S.	FACE OF STUDS
FTG.	FOOTING

GA.	GAGE/GAUGE
GAL.	GALLON
GALV.	GALVANIZED
G.I.	GALVANIZED IRON
GL.	GLASS
GLB	GLU-LAM BEAM
GR	GROSS
GSF	GROSS SQUARE FOOT
GYP. BD.	GYP SUM BOARD

H	HIGH
HARD BD.	HARD BOARD
H.B.	HOSE BIBB
H.C.	HANDICAP
HDW.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR	HOUR
HT.	HEIGHT
HTR	HEATER
HVAC	HEATING, VENTILATING & AIR CONDITIONING

I.B.C.	INTERNATIONAL BUILDING CODE
I.D.	INSIDE DIAMETER
I.E.	INVERT ELEVATION
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT

JT.	JOINT
JTS.	JOINTS

LAM.	LAMINATED
LAV.	LAVATORY
LB.	POUND
LBL.	LABEL
LTG.	LIGHTING

MATL	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURE(R)
MH.	MANHOLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.P.H.	MILES PER HOUR
MTD.	MOUNTED

N	NORTH
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
NT	NET
N.T.S.	NOT TO SCALE
N.F.V.A.	NET FREE VENTILATED AREA

O/	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.H.	OPPOSITE HAND
O.L.	OCCUPANT LOAD
OP'NG	OPENING
O.S.B.	ORIENTED STRAND BOARD
OVHNG.	OVERHANG

PL	PLATE OR PROPERTY LINE
PLAS	PLASTER
P.LAM.	PLASTIC LAMINATE
PLMG.	PLUMBING
PLYWD.	PLYWOOD
P.O.C.	POINT OF CONNECTION
PROP.	PROP.
P.S.F.	POUNDS PER SQUARE FOOT
PT.	POINT
PWR.	POWER

R	RISER
RAD.	RADIUS
RD.	ROOF DRAIN
R.C.P.	REFLECTED CEILING PLAN
REC.	RECESSED
RDWD.	REDWOOD
REF.	REFERENCE
REFL	REFLECTED
REINF.	REINFORCING
REQ'D	REQUIRED
RM.	ROOM

R.O.	ROUGH OPENING
R.S.	ROUGH SAWN OR RESAWN
S	SOUTH
S.A.R.	SUPPLY AIR REGISTER
SCHED.	SCHEDULE
SEP.	SEPARATION
SERV.	SERVICE
SF	SQUARE FEET
SHT.	SHEET
S.G.	SAFETY GLASSES
SIM.	SIMILAR
SL.	SLOPE
STR.	STAIR

STRUCT.	STRUCTURAL
SURF.	SURFACE
SYM.	SYMBOL

T	TREAD
T.()	TOP OF (ITEM)
TEL.	TELEPHONE
THK.	THICK
TPO.	THERMOPLASTIC POLYOLEFIN
T.S.	TUBE SECTION
T.W.	TOP OF WALL
TYP.	TYPICAL

U.N.O.	UNLESS NOTED OTHERWISE
VAC.	VACUUM
VAR.	VARIES
VCT.	VINYL COMPOSITION TILE
V.B.	VINYL BASE
VER.	VERIFY
VERT.	VERTICAL
VTR.	VENT THROUGH ROOF

W	WIDTH OR WEST
W/	WITH
W/O	WITHOUT
WD.	WOOD
W.H.	WATER HEATER
WIND.	WINDOW
XFMR	

GENERAL NOTES:

- A. THE DRAWINGS INDICATE NEW WORK TO BE PERFORMED AND DO NOT PURPORT TO SHOW ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE BID AND FAMILIARIZE HIMSELF / HERSELF WITH ALL EXISTING AND PROPOSED CONDITIONS WHICH MAY AFFECT THE COURSE OF THE WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES AND UNACCEPTABLE CONDITIONS TO THE OWNER PRIOR TO THE BID. NO CHANGE ORDERS SHALL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- B. CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- C. ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL LAWS AND CODES.
- D. DO NOT SCALE DRAWINGS: USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND RECHECKED AS WORK PROGRESSES. DIMENSIONS SHOWN AT (E) CONDITIONS ARE TO FACE OF (E) FINISH. U.N.O. DIMENSIONS AT NEW WORK ARE TO FACE OF FRAMING, U.N.O. DIMENSIONS OF (E) CONDITIONS ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. WHERE NO DIMENSION IS PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
- E. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE LOCATIONS WITH A LICENSED AND APPROVED SURVEYOR.
- F. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, ETC., REQUIRED FOR A COMPLETE USABLE PROJECT IN ACCORDANCE WITH THE COMBINATION OF THE DRAWINGS AND SPECIFICATIONS.
- G. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS
- H. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUB-CONTRACTOR(S), MATERIALS, AND INSTALLATION FOR THIS PROJECT (U.N.O.). CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK OF ALL THE TRADES WITH THE APPROVAL OF THE OWNER.
- I. THE CONTRACTOR SHALL ENSURE THAT ALL WORK AREAS ARE EFFECTIVELY BLOCKED AND BARRICADED TO PROVIDE COMPLETE PROTECTION TO BUILDING OCCUPANTS OR OTHERS USING ADJACENT AREAS. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING UTILITIES ARE TEMPORARILY DISRUPTED.
- J. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT SITE VISITS ARE NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- K. CONTRACTOR SHALL PROVIDE FOR FIRE SAFETY AT ALL TIMES DURING CONSTRUCTION. ANY OPERATION UTILIZING TORCHES OR OPEN HEAT SOURCES OR OTHER HEAT PRODUCING EQUIPMENT SHALL HAVE FIRE EXTINGUISHER PRESENT AT ALL TIMES.
- L. ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE ARCHITECT. REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY HAULING, PERMIT AND DUMPING COSTS. CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND ORDERS.
- M. INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.N.O.
- N. WHERE PRE-MANUFACTURED OR FABRICATED ITEMS AND/R

- MATERIALS ARE TO BE INSTALLED - VERIFY ROUGH OR FINISHED DIMENSIONS IN THE FIELD PRIOR TO PURCHASE OR FABRICATION.
- O. APPLICATION OF FINISH: SURFACES PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE APPLYING SUBSEQUENT MATERIALS OR FINISHES. IF SURFACES ARE NOT ACCEPTABLE, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSTRUED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BASE UPON WHICH IT IS APPLIED.
- P. INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- Q. CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PREFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONSTRUCTING, AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- R. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- S. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- T. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.
- U. WHERE ANY ITEM AND/OR MATERIAL IS INDICATED ON THE DRAWINGS AND NOT NECESSARILY DETAILED IN EACH SPECIFIC CASE BUT IS REQUIRED FOR A COMPLETE AND PROFESSIONAL INSTALLATION - SUCH ITEMS AND/OR MATERIALS SHALL BE PROVIDED AS IF SHOWN AND DETAILED IN FULL. PROVIDE THE MEANS TO FURNISH AND INSTALL SAME.
- V. THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "(E)", ITEMS WITHOUT THIS DESIGNATION ARE NEW CONSTRUCTION. WHERE REQUIRED FOR PURPOSES OF CLARITY, SOME ITEMS MAY BE INDICATED AS "NEW" OR "(N)".
- W. ANY EXISTING EQUIPMENT AND ANCILLARY MATERIALS REMOVED DURING THE COURSE OF THIS PROJECT SHALL BE OFFERED TO THE OWNER FOR SALVAGE. ANY EQUIPMENT SELECTED BY THE OWNER SHALL BE DELIVERED TO THE OWNER ON SITE. ALL REMAINING EQUIPMENT AND MATERIALS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN A TIMELY MANNER.
- X. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOPPE DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED ON THE SUBMITTAL THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".
- Y. LEAVE ALL SURFACES IN VACUUM CLEAN CONDITION WITH ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES AND DEFECTS COMPLETELY REMOVED.
- Z. FINAL AS-BUILT RECORD DOCUMENTS SHOWING ALL REVISIONS INCORPORATED DURING CONSTRUCTION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PROJECT CLOSE-OUT.



458 Court St. | Reno, NV 89501
www.thedubegroup.com
p | 775.323.1001 | f | 775.323.2220



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.700, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS OBTAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

HELLWINKEL BARNS
BARN (B)

JOB NUMBER:

17-800

DATE:

11/15/2017

DRAWN BY:

ARL

CHECKED BY:

PRD

REVISIONS:

SHEET DESCRIPTION:

GENERAL NOTES

SHEET NUMBER:

G101

NOTE: FULL SETS ARE 24"x36" HALF SIZE SETS ARE 12"x18" CONFIRM SCALES SHOWN ON DRAWINGS



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

**HELLWINKEL BARN
BARN (B)**

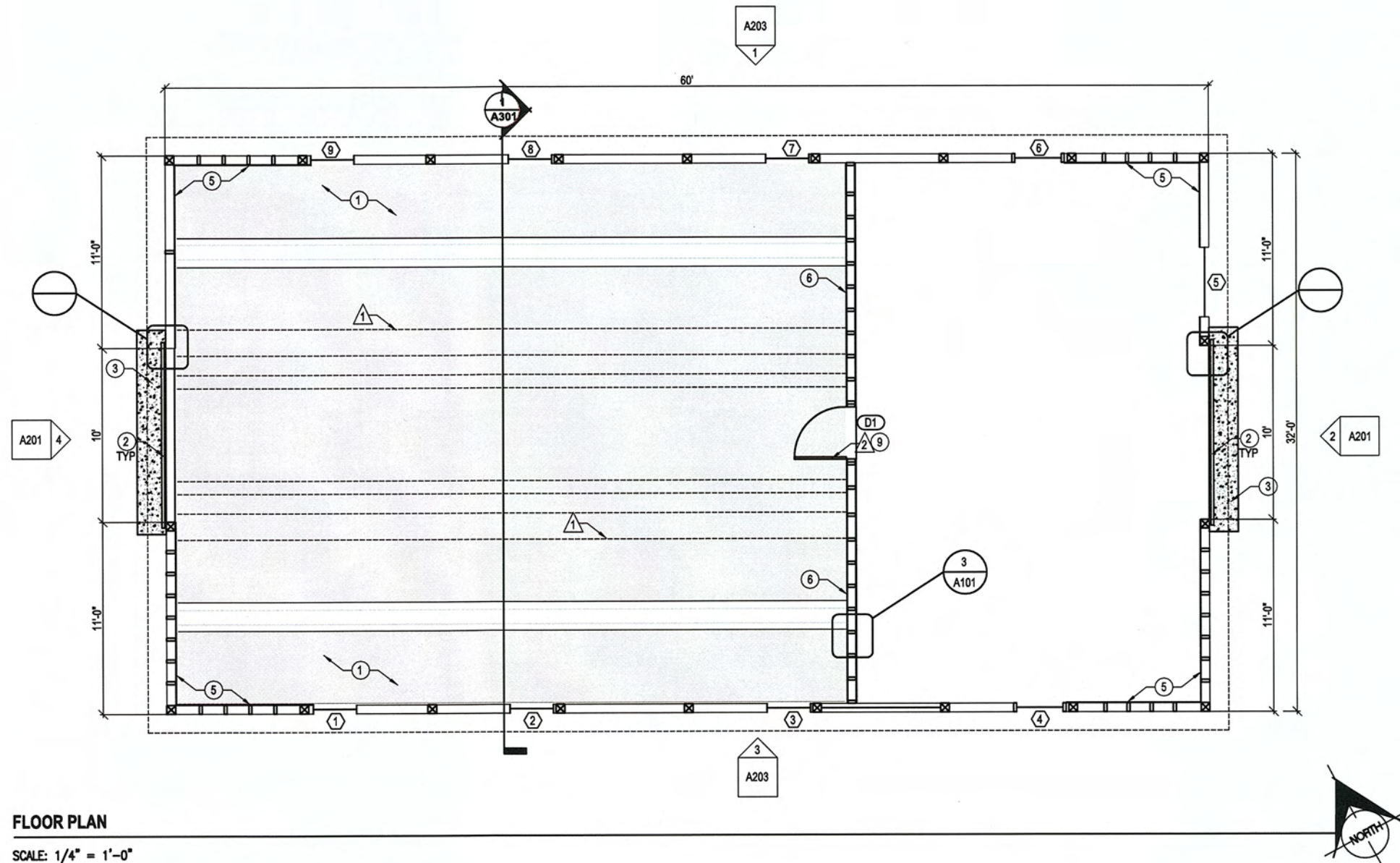
JOB NUMBER:	17-800
DATE:	11/15/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:

FLOORPLAN

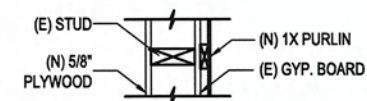
SHEET NUMBER:

A101



FLOOR PLAN

SCALE: 1/4" = 1'-0"



3 WALL ASSEMBLY

SCALE: 1" = 1'-0"

DEMO NOTES

- 1 REMOVE (E) CONCRETE CHANNEL
- 2 REMOVE (E) WOOD DOOR

CONSTRUCTION NOTES

- 1 (N) 5" CONCRETE SLAB O.G. OVER 6" BASE. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- 2 CONTRACTOR TO VERIFY OPERATION OF (E) SLIDING DOOR. CLEAN/TIGHTEN/REPLACE BOLTS AND CONNECTORS AS NEEDED, LUBRICATE AS REQUIRED TO ENSURE EASE OF OPERATION
- 3 ??? (N) CONCRETE PAD ???
- 4 CONTRACTOR TO FIELD VERIFY (E) SIDING FASTENERS. ENSURE (E) FASTENERS ARE ADEQUATELY TIGHTENED. CONTRACTOR TO PROVIDE (N) FASTENERS W/RUBBER GROMMETS WHERE FASTENERS ARE NOT PRESENT
- 5 PROVIDE (N) PLYWOOD PER STRUCTURAL. SEE STRUCTURAL SHEETS FOR MORE INFORMATION
- 6 PROVIDE (N) 5/8" PLYWOOD AT STORAGE SIDE OF WALL
- 7 PROVIDE (N) PEG BOARD W/1" PURLINS AT (E) STUDS
- 8 WINDOW TO RECEIVE ???
- 9 PROVIDE (N) 3'X7' HOLLOW METAL DOOR AND HARDWARE



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 633.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

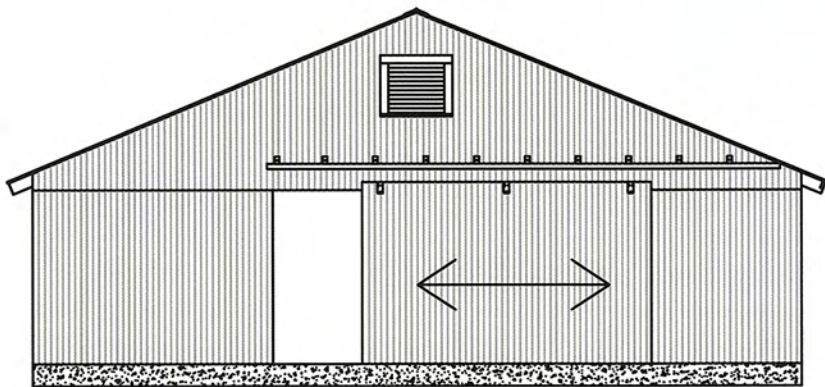
**HELLWINKEL BARN
BARN (B)**

JOB NUMBER: 17-800
DATE: 11/15/2017
DRAWN BY: ARL
CHECKED BY: PRD
REVISIONS:

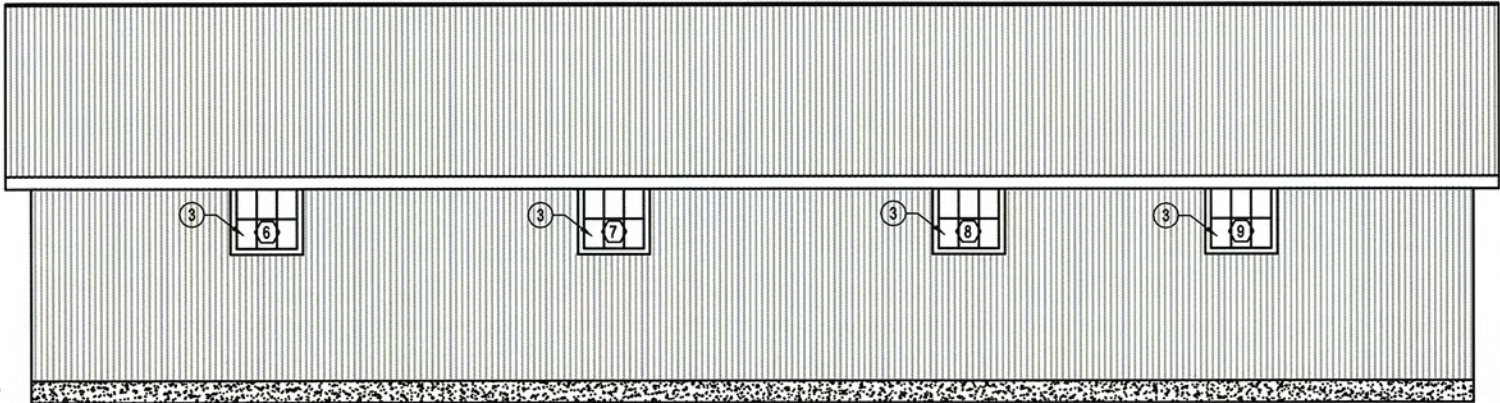
SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:

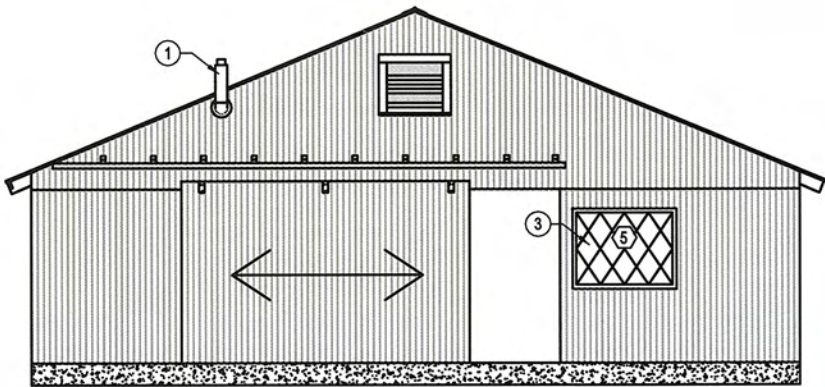
A201



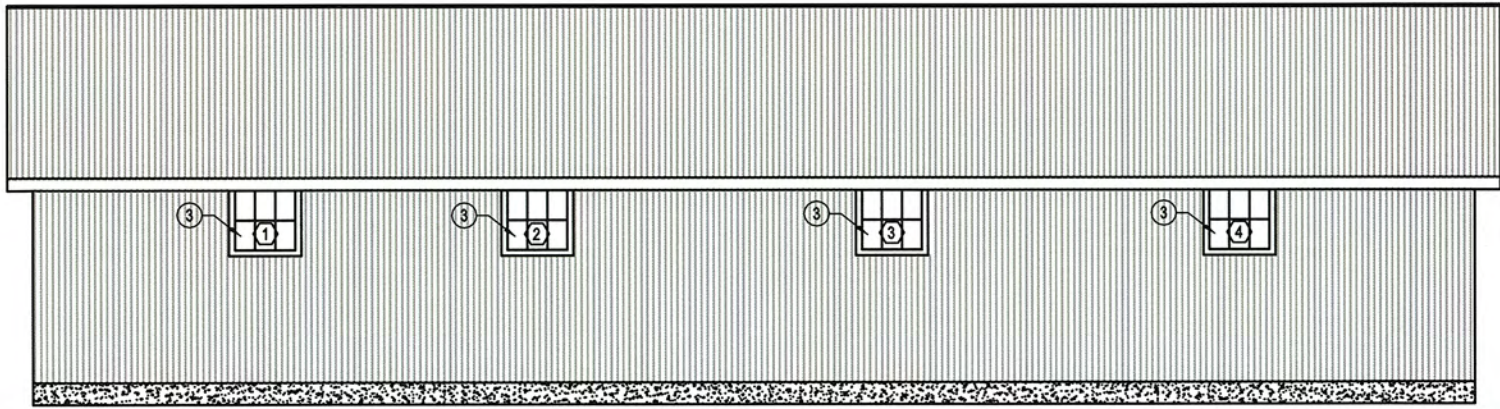
4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES

- ① CONTRACTOR TO REMOVE (E) VENT PIPE AT WALL, PATCH CORRUGATED SIDING AS NEEDED FOR WATER TIGHT FINISH
- ② CONTRACTOR TO FIELD VERIFY (E) SIDING FASTENERS. ENSURE (E) FASTENERS ARE ADEQUATELY TIGHTENED. CONTRACTOR TO PROVIDE (N) FASTENERS W/RUBBER GROMMETS WHERE FASTENERS ARE NOT PRESENT
- ③ WINDOWS TO RECEIVE...



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

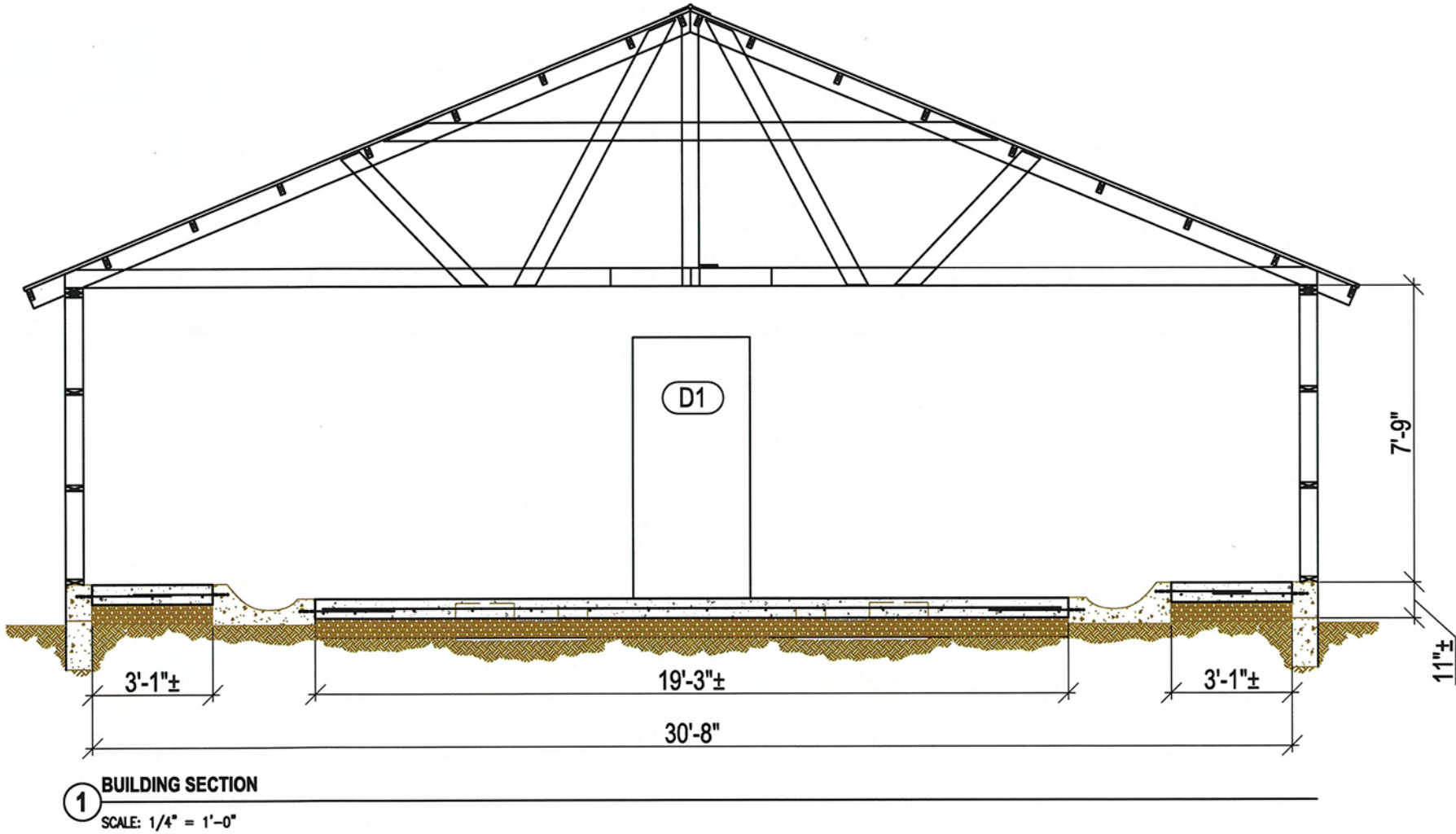
PROJECT TITLE:
**HELLWINKEL BARNS
BARN (B)**

JOB NUMBER:	17-800
DATE:	11/15/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:
BUILDING SECTION

SHEET NUMBER:

A301



				KEYNOTE LEGEND
12 PLACEHOLDER DETAIL SCALE = NTS	9 PLACEHOLDER DETAIL SCALE = NTS	6 PLACEHOLDER DETAIL SCALE = NTS	3 PLACEHOLDER DETAIL SCALE = NTS	
11 PLACEHOLDER DETAIL SCALE = NTS	8 PLACEHOLDER DETAIL SCALE = NTS	5 PLACEHOLDER DETAIL SCALE = NTS	2 PLACEHOLDER DETAIL SCALE = NTS	
10 PLACEHOLDER DETAIL SCALE = NTS	7 PLACEHOLDER DETAIL SCALE = NTS	4 PLACEHOLDER DETAIL SCALE = NTS	1 PLACEHOLDER DETAIL SCALE = NTS	



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

MCCARRAN RANCH HOUSE
HISTORIC RENOVATION

JOB NUMBER: 17-1100

DATE: 8/14/2017

DRAWN BY: ARL

CHECKED BY:

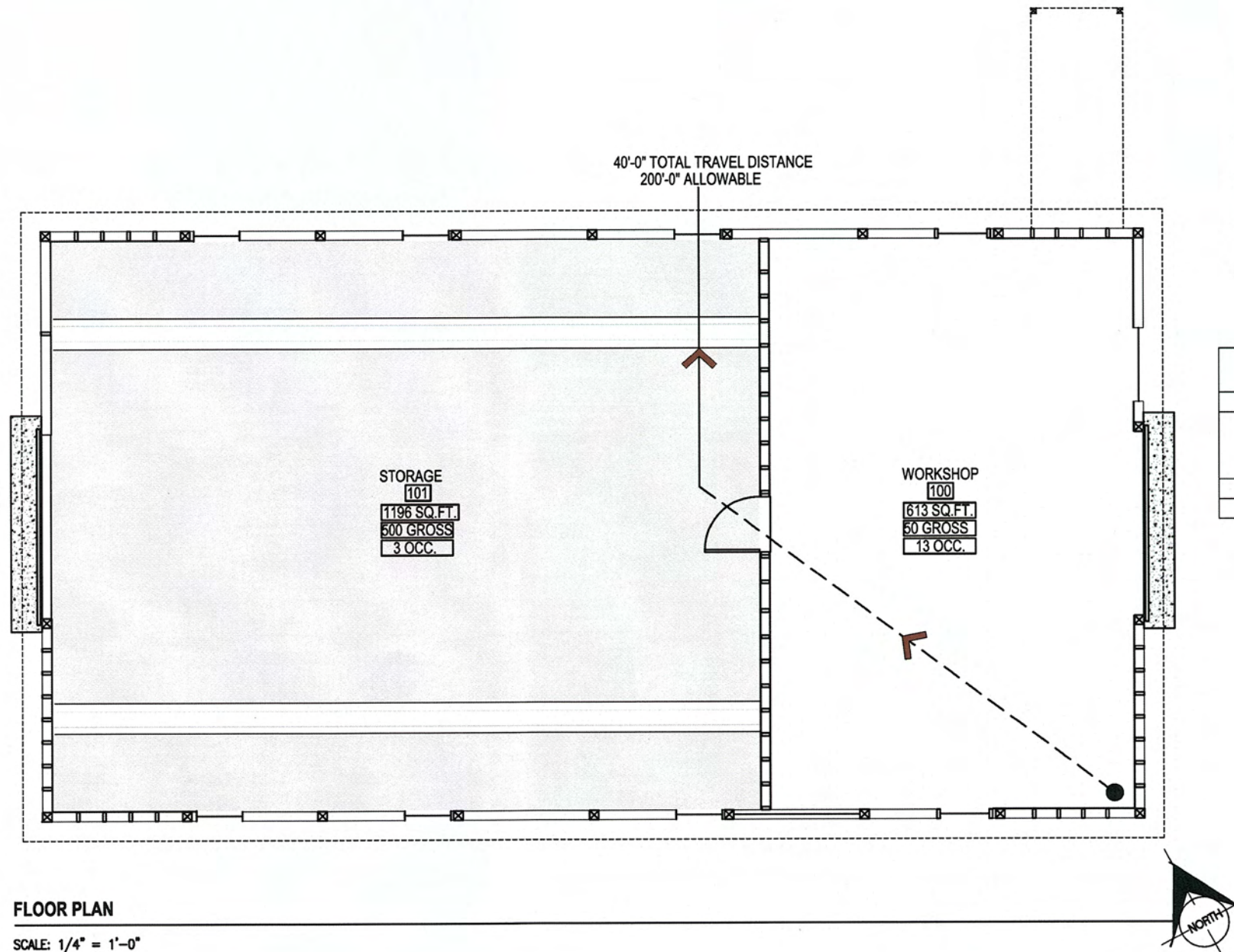
REVISIONS:

SHEET DESCRIPTION:

DETAILS

SHEET NUMBER:

A501



FLOOR PLAN

SCALE: 1/4" = 1'-0"

BASIS OF DESIGN: 2012 IBC

Occupancy group(s): S-2

• Type of construction: Type V-B (Existing)

• Square footage / Allowable area: 1,809 SF (actual) / 13,500 Type VB construction per 507.7 (allowable)

Fire sprinklers: N/A

• Height and number of stories: 2 stories max per 504.2 (allowable)

• Occupant load: Chart below is a summary by occupancy. See sheet A1 for detailed breakdown by individual uses.

CHAPTER 10 OCCUPANT LOADS AND NUMBER OF EXITS				
ROOM	AREA IN SF	OCCUPANT LOAD FACTOR	OCCUPANTS	EXISTS REQ'D/PROVIDED
WORKSHOP 100	613	50 GROSS	13	
STORAGE 101	1196	500 GROSS	3	
			16 TOTAL	1 / 1



© 2017 BY THE DUBÉ GROUP, INC.
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 302 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.
IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:
**HELLWINKEL BARNS
BARN (B)**

JOB NUMBER: 17-800
DATE: 11/15/2017
DRAWN BY: ARL
CHECKED BY: PRD
REVISIONS:

SHEET DESCRIPTION:
CODE ANALYSIS

SHEET NUMBER:

G102

PROJECT TITLE AND ADDRESS

TOWN OF GARDNERVILLE
HELLWINKEL BARN (A)

1381 N HWY 395
APN #1320-33-402-088



458 Court St. | Reno, NV 89501
www.thedubegroup.com
p | 775.323.1001 f | 775.323.2220



© 2017 BY THE DUBÉ GROUP, INC.
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.
IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:
HELLWINKEL BARN
BARN (A)

JOB NUMBER: 17-800
DATE: 3/19/2017
DRAWN BY: ARL
CHECKED BY: PRD
REVISIONS:

SHEET DESCRIPTION:
TITLE SHEET
APPLICABLE CODES
INDEX TO DRAWINGS

SHEET NUMBER:

G100

PROJECT DIRECTORY

OWNER:
TOWN OF GARDNERVILLE
CONTACT: TOM DALLAIRE
CITY MANAGER
1407 HIGHWAY 395 N
GARDNERVILLE, NV 89410
(775) 782-7134
WWW.GARDNERVILLE-NV.GOV

ARCHITECT:
THE DUBÉ GROUP
458 COURT STREET
RENO, NEVADA 89501
(775) 323-1001
WWW.THEDUBEGROUP.COM

ELECTRICAL ENGINEER:
??? ENGINEERING
???
RENO, NV 89502
(775) ???-???
WWW.???-???
STRUCTURAL ENGINEER:
HYTTINEN ENGINEERING
5458 LONGLEY LANE SUITE B
RENO, NV 89511
(775) 826-3019
WWW.HYTTINENENGINEERING.COM

VICINITY MAP



LOCATION ON SITE



INDEX TO DRAWINGS

GENERAL
G100 - TITLE SHEET
G101 - GENERAL NOTES

ARCHITECTURAL
A101 - EXISTING FLOORPLAN
A102 - PROPOSED FLOORPLAN
A201 - EXISTING EAST AND WEST ELEVATION
A202 - PROPOSED EAST AND WEST ELEVATION
A203 - EXISTING NORTH AND SOUTH ELEVATION
A204 - PROPOSED NORTH AND SOUTH ELEVATION
A301 - EXISTING BUILDING SECTIONS
A103 - PROPOSED BUILDING SECTIONS

STRUCTURAL
S0.1 - STRUCTURAL COVER
S1.1 - TYPICAL DETAILS
S2.1 - GROUND LEVEL PLAN
S2.2 - LOW ROOF FRAMING PLAN
S2.3 - HIGH ROOF FRAMING PLAN
S3.1 - BUILDING SECTION
S3.2 PARTIAL BUILDING SECTION
S3.3 - WALL ELEVATION

ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL
Exxx - ELECTRICAL

APPLICABLE CODES

- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2011 NATIONAL ELECTRICAL CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE - "IECC"
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL URBAN WILDFIRE INTERFACE FIRE CODE FOR THE LAKE TAHOE AREA

PROJECT INFORMATION

PROPERTY ADDRESS: 1381 N HWY 395
APN: 1320-33-402-088
PROPERTY OWNER: TOWN OF GARDNERVILLE
1407 N HWY 395
ACRES: 7.82
YEAR BUILT: 1940
ZONING:
NO. OF STORIES:

ABBREVIATIONS:

A.C.	ASPHALT CONCRETE
ACOUS.	ACOUSTICAL
ADDTN	ADDITION
ADJ.	ADJUSTABLE OR ADJACENT
A.F.F.	ABOVE FINISH FLOOR
AGGR.	AGGREGATE
ALT.	ALTERNATE
ALUM.	ALUMINUM
ASB.	ASBESTOS
AUTO	AUTOMATIC
@	AT

BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
BR.	BRONZE
BRG.	BEARING
BTWN	.BETWEEN

CAB.	CABINET
C.B.	CONCRETE BLOCK
CEM.	CEMENT
CER.	CERAMIC
C.F.M.	CUBIC FEET PER MINUTE
C.I.	CAST IRON
C.J.	CONTROL JOINT
CLG.	CEILING
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
COMP.	COMPOSITION
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUE(OUS)
COOLING	COOLING
CT.	CERAMIC TILE
CTR.	COUNTER
CTSK.	COUNTERSINK
C.W.	COLD WATER
¢	CENTERLINE

D	DEPTH
DBL.	DOUBLE
DET.	DETAIL
DESC.	DESCRIPTION
D.F.	DOUGLAS FIR
D.F.	DRINKING FOUNTAIN
DIM.	DIMENSION
DISP.	DISPOSAL
DN.	DOWN
DR.	DOOR
DRWG.	DRAWING
DS.	DOWNSPOUT
Ø	DIAMETER

E	EAST
(E)	EXISTING
EA.	EACH
ELEC.	ELECTRIC(AL)
ELEV.	ELEVATION
EQ	EQUAL
EQPT.	EQUIPMENT
E.W.	EACH WAY
EW	ELECTRIC WATER COOLER
EW	ELECTRIC WATER HEATER
EXH.	EXHAUST
EXP.	EXPOSED
EXP. JT.	EXPANSION JOINT
EXT.	EXTERIOR

FD.	FLOOR DRAIN
FEC.	FIRE EXTINGUISHER CABINET
F.F.	FINISHED FLOOR
F.F.E.	FINISH FLOOR ELEVATION
FFHB	FROST FREE HOSE BIBB
FG.	FINISH GRADE
FIN.	FINISH
FLR.	FLOOR
F.O.	FLOOR OPENING
F.O.S.	FACE OF STUDS
FTG.	FOOTING

GA.	GAGE/GAUGE
GAL.	GALLON
GALV.	GALVANIZED
G.I.	GALVANIZED IRON
GL.	GLASS
GLB	GLU-LAM BEAM
GR	GROSS
GSF	GROSS SQUARE FOOT
GYP. BD.	GYPSUM BOARD

H	HIGH
HARD BD.	HARD BOARD
H.B.	HOSE BIBB
H.C.	HANDICAP
HDW.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR	HOUR
HT.	HEIGHT
HTR	HEATER
HVAC	HEATING, VENTILATING & AIR CONDITIONING

I.B.C.	INTERNATIONAL BUILDING CODE
I.D.	INSIDE DIAMETER
I.E.	INVERT ELEVATION
INSUL.	INSULATION
INT.	INTERIOR
INV.	INVERT

JT.	JOINT
JTS.	JOINTS

LAM.	LAMINATED
LAV.	LAVATORY
LB.	POUND
LBL.	LABEL
LTG.	LIGHTING

MAT'L	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURE(R)
MH.	MANHOLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.P.H.	MILES PER HOUR
MTD.	MOUNTED

N	NORTH
(N)	NEW
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
NT	NET
N.T.S.	NOT TO SCALE
N.F.V.A.	NET FREE VENTILATED AREA

O/	OVER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.H.	OPPOSITE HAND
O.L.	OCCUPANT LOAD
OP'NG	OPENING
O.S.B.	ORIENTED STRAND BOARD
OV'NG.	OVERHANG

PL	PLATE OR PROPERTY LINE
PLAS	PLASTER
P.LAM.	PLASTIC LAMINATE
PLMG.	PLUMBING
PLYWD.	PLYWOOD
P.O.C.	POINT OF CONNECTION
PROP.	PROP.
P.S.F.	POUNDS PER SQUARE FOOT
PT.	POINT
PWR.	POWER

R	RISER
RAD.	RADIUS
RD.	ROOF DRAIN
R.C.P.	REFLECTED CEILING PLAN
REC.	RECESSED
RDWD.	REDWOOD
REF.	REFERENCE
REFL	REFLECTED
REINF.	REINFORCING
REQ'D	REQUIRED
RM.	ROOM

R.O.	ROUGH OPENING
R.S.	ROUGH SAWN OR RESAWN
S	SOUTH
S.A.R.	SUPPLY AIR REGISTER
SCHED.	SCHEDULE
SEP.	SEPARATION
SERV.	SERVICE
SF	SQUARE FEET
SHT.	SHEET
S.G.	SAFETY GLASSES
SIM.	SIMILAR
SL.	SLOPE
STR.	STAIR

STRUCT. SURF. SYM.	STRUCTURAL SURFACE SYMBOL
T	TREAD
T.()	TOP OF (ITEM)
TEL.	TELEPHONE
THK.	THICK
TPO.	THERMOPLASTIC POLYOLEFIN
T.S.	TUBE SECTION
T.W.	TOP OF WALL
TYP.	TYPICAL

U.N.O.	UNLESS NOTED OTHERWISE
VAC.	VACUUM
VAR.	VARIES
VCT.	VINYL COMPOSITION TILE
V.B.	VINYL BASE
VER.	VERIFY
VERT.	VERTICAL
VTR.	VENT THROUGH ROOF

W	WIDTH OR WEST
W/	WITH
W/O	WITHOUT
WD.	WOOD
W.H.	WATER HEATER
WIND.	WINDOW
XFMR	

GENERAL NOTES:

- A. THE DRAWINGS INDICATE NEW WORK TO BE PERFORMED AND DO NOT PURPORT TO SHOW ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE BID AND FAMILIARIZE HIMSELF / HERSELF WITH ALL EXISTING AND PROPOSED CONDITIONS WHICH MAY AFFECT THE COURSE OF THE WORK. THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES AND UNACCEPTABLE CONDITIONS TO THE OWNER PRIOR TO THE BID. NO CHANGE ORDERS SHALL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- B. CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
- C. ALL CONSTRUCTION AND INSTALLATION WORK SHOWN ON DRAWINGS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. USE METHODS AS REQUIRED TO COMPLETE WORK WITHIN LIMITATIONS OF ALL LAWS AND CODES.
- D. DO NOT SCALE DRAWINGS: USE DIMENSIONS SHOWN. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND RECHECKED AS WORK PROGRESSES. DIMENSIONS SHOWN AT (E) CONDITIONS ARE TO FACE OF (E) FINISH. U.N.O. DIMENSIONS AT NEW WORK ARE TO FACE OF FRAMING, U.N.O. DIMENSIONS OF (E) CONDITIONS ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. WHERE NO DIMENSION IS PROVIDED CONSULT WITH THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH AFFECTED WORK.
- E. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE LOCATIONS WITH A LICENSED AND APPROVED SURVEYOR.
- F. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, ETC., REQUIRED FOR A COMPLETE USABLE PROJECT IN ACCORDANCE WITH THE COMBINATION OF THE DRAWINGS AND SPECIFICATIONS.
- G. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS
- H. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUB-CONTRACTOR(S), MATERIALS, AND INSTALLATION FOR THIS PROJECT (U.N.O.). CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK OF ALL THE TRADES WITH THE APPROVAL OF THE OWNER.
- I. THE CONTRACTOR SHALL ENSURE THAT ALL WORK AREAS ARE EFFECTIVELY BLOCKED AND BARRICADED TO PROVIDE COMPLETE PROTECTION TO BUILDING OCCUPANTS OR OTHERS USING ADJACENT AREAS. THE OWNER SHALL BE CONSULTED BEFORE ANY BUILDING UTILITIES ARE TEMPORARILY DISRUPTED.
- J. SAFETY MEASURES: AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF PEOPLE AND PROPERTY. ARCHITECT SITE VISITS ARE NOT INTENDED TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- K. CONTRACTOR SHALL PROVIDE FOR FIRE SAFETY AT ALL TIMES DURING CONSTRUCTION. ANY OPERATION UTILIZING TORCHES OR OPEN HEAT SOURCES OR OTHER HEAT PRODUCING EQUIPMENT SHALL HAVE FIRE EXTINGUISHER PRESENT AT ALL TIMES.
- L. ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT CLEAR AND CLEAN TO THE SATISFACTION OF THE ARCHITECT. REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY HAULING, PERMIT AND DUMPING COSTS. CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND ORDERS.
- M. INSTALL MANUFACTURED MATERIALS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.N.O.
- N. WHERE PRE-MANUFACTURED OR FABRICATED ITEMS AND/OR

- MATERIALS ARE TO BE INSTALLED - VERIFY ROUGH OR FINISHED DIMENSIONS IN THE FIELD PRIOR TO PURCHASE OR FABRICATION.
- O. APPLICATION OF FINISH: SURFACES PREVIOUSLY PREPARED OR INSTALLED BY ANOTHER TRADE SHALL BE INSPECTED CAREFULLY BY THE CONTRACTOR BEFORE APPLYING SUBSEQUENT MATERIALS OR FINISHES. IF SURFACES ARE NOT ACCEPTABLE, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN ORDER THAT CORRECTIONS MAY BE MADE. APPLICATIONS OF FINISHES WILL BE CONSTRUED AS ACCEPTANCE OF RESPONSIBILITY BY THE SUBCONTRACTOR FOR THE BASE UPON WHICH IT IS APPLIED.
- P. INSTALL ALL WORK PLUMB, LEVEL AND STRAIGHT, OR AS REQUIRED TO ALIGN WITH (E) ADJACENT SURFACES.
- Q. CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PREFORM WORK. RESPONSIBILITY FOR ENGINEERING, CONSTRUCTING, AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- R. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, SPECIFICATIONS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH WORK.
- S. DETAILS SHOWN SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY CALLED OUT OR NOT.
- T. DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING WORK. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK.
- U. WHERE ANY ITEM AND/OR MATERIAL IS INDICATED ON THE DRAWINGS AND NOT NECESSARILY DETAILED IN EACH SPECIFIC CASE BUT IS REQUIRED FOR A COMPLETE AND PROFESSIONAL INSTALLATION - SUCH ITEMS AND/OR MATERIALS SHALL BE PROVIDED AS IF SHOWN AND DETAILED IN FULL. PROVIDE THE MEANS TO FURNISH AND INSTALL SAME.
- V. THROUGHOUT THE CONSTRUCTION DOCUMENTS, ITEMS THAT ARE EXISTING ARE INDICATED AS "EXISTING" OR "(E)", ITEMS WITHOUT THIS DESIGNATION ARE NEW CONSTRUCTION. WHERE REQUIRED FOR PURPOSES OF CLARITY, SOME ITEMS MAY BE INDICATED AS "NEW" OR "(N)".
- W. ANY EXISTING EQUIPMENT AND ANCILLARY MATERIALS REMOVED DURING THE COURSE OF THIS PROJECT SHALL BE OFFERED TO THE OWNER FOR SALVAGE. ANY EQUIPMENT SELECTED BY THE OWNER SHALL BE DELIVERED TO THE OWNER ON SITE. ALL REMAINING EQUIPMENT AND MATERIALS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN A TIMELY MANNER.
- X. THE CONTRACTOR MUST SUBMIT IN WRITING ANY REQUESTS FOR MODIFICATIONS TO THE PLANS AND SPECIFICATIONS. SHOPPE DRAWINGS SUBMITTED TO THE ARCHITECT FOR REVIEW DO NOT CONSTITUTE "IN WRITING" UNLESS IT IS CLEARLY NOTED ON THE SUBMITTAL THAT SPECIFIC CHANGES ARE BEING REQUESTED WITH THE PHRASE "REQUESTED CHANGE".
- Y. LEAVE ALL SURFACES IN VACUUM CLEAN CONDITION WITH ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES AND DEFECTS COMPLETELY REMOVED.
- Z. FINAL AS-BUILT RECORD DOCUMENTS SHOWING ALL REVISIONS INCORPORATED DURING CONSTRUCTION SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO PROJECT CLOSE-OUT.



458 Court St. | Reno, NV 89501
www.thedubegroup.com
p | 775.323.1001 | f | 775.323.2220



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

HELLWINKEL BARNS
BARN (A)

JOB NUMBER: 17-800
DATE: 3/19/2017
DRAWN BY: ARL
CHECKED BY: PRD
REVISIONS:

SHEET DESCRIPTION:

GENERAL NOTES

SHEET NUMBER:

G101

NOTE: FULL SETS ARE 24"x36" HALF SIZE SETS ARE 12"x18" CONFIRM SCALES SHOWN ON DRAWINGS



© 2017 BY THE DUBÉ GROUP, INC.
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.
IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

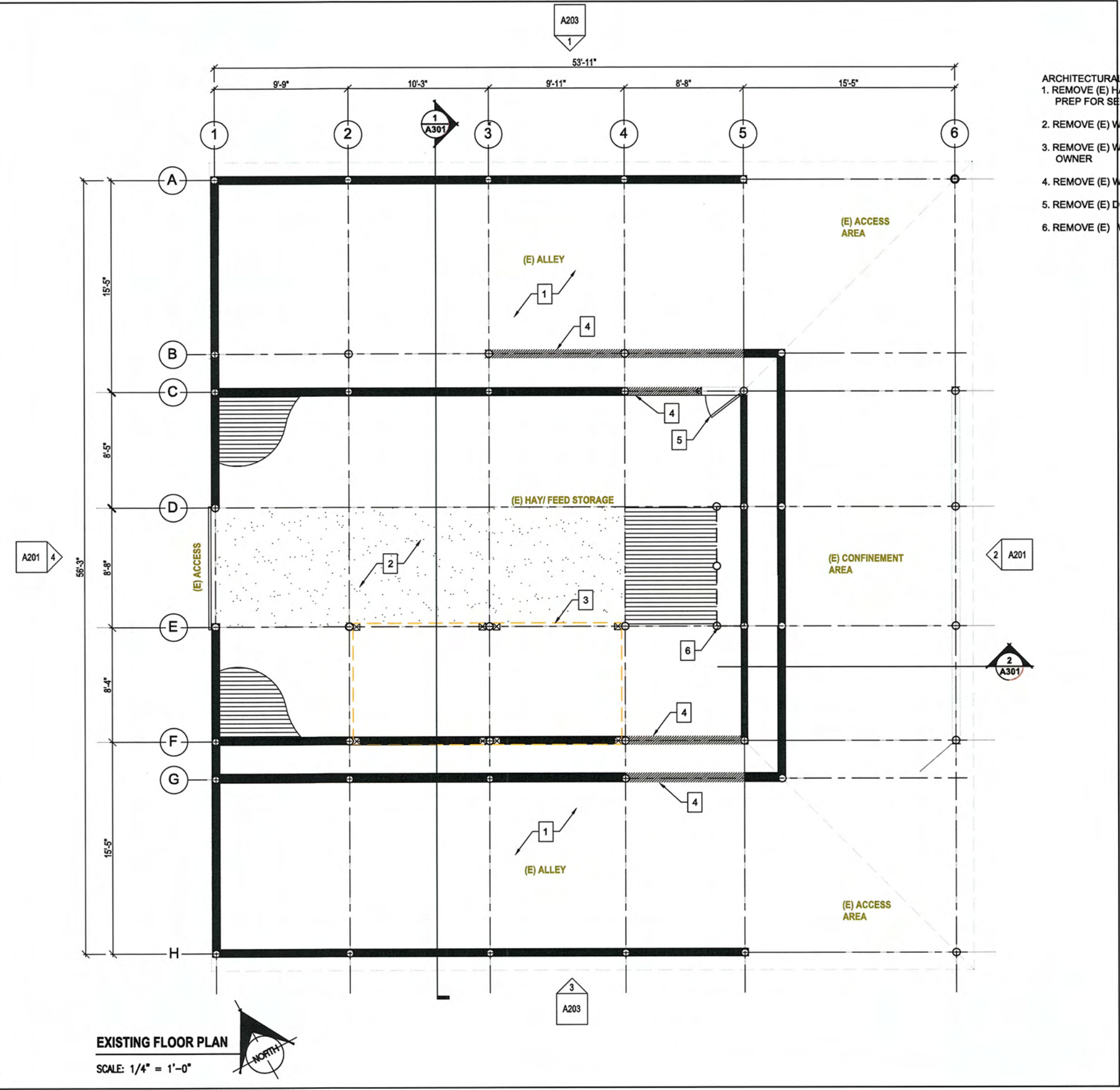
PROJECT TITLE:
**HELLWINKEL BARN
BARN (A)**

JOB NUMBER:	17-800
DATE:	3/19/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:
EXISTING FLOORPLAN

SHEET NUMBER:

A100



- ARCHITECTURAL KEY NOTES :
1. REMOVE (E) HAY, DIRT, ETC TO BARE CONCRETE. PREP FOR SELF LEVELING COMPOUND AND PAINT
 2. REMOVE (E) WOOD FLOOR PREP FOR D.G.
 3. REMOVE (E) WOOD PLATFORM. SALVAGE TO OWNER
 4. REMOVE (E) WOOD BARRIER
 5. REMOVE (E) DOOR
 6. REMOVE (E) WOOD HAY STACKER

EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

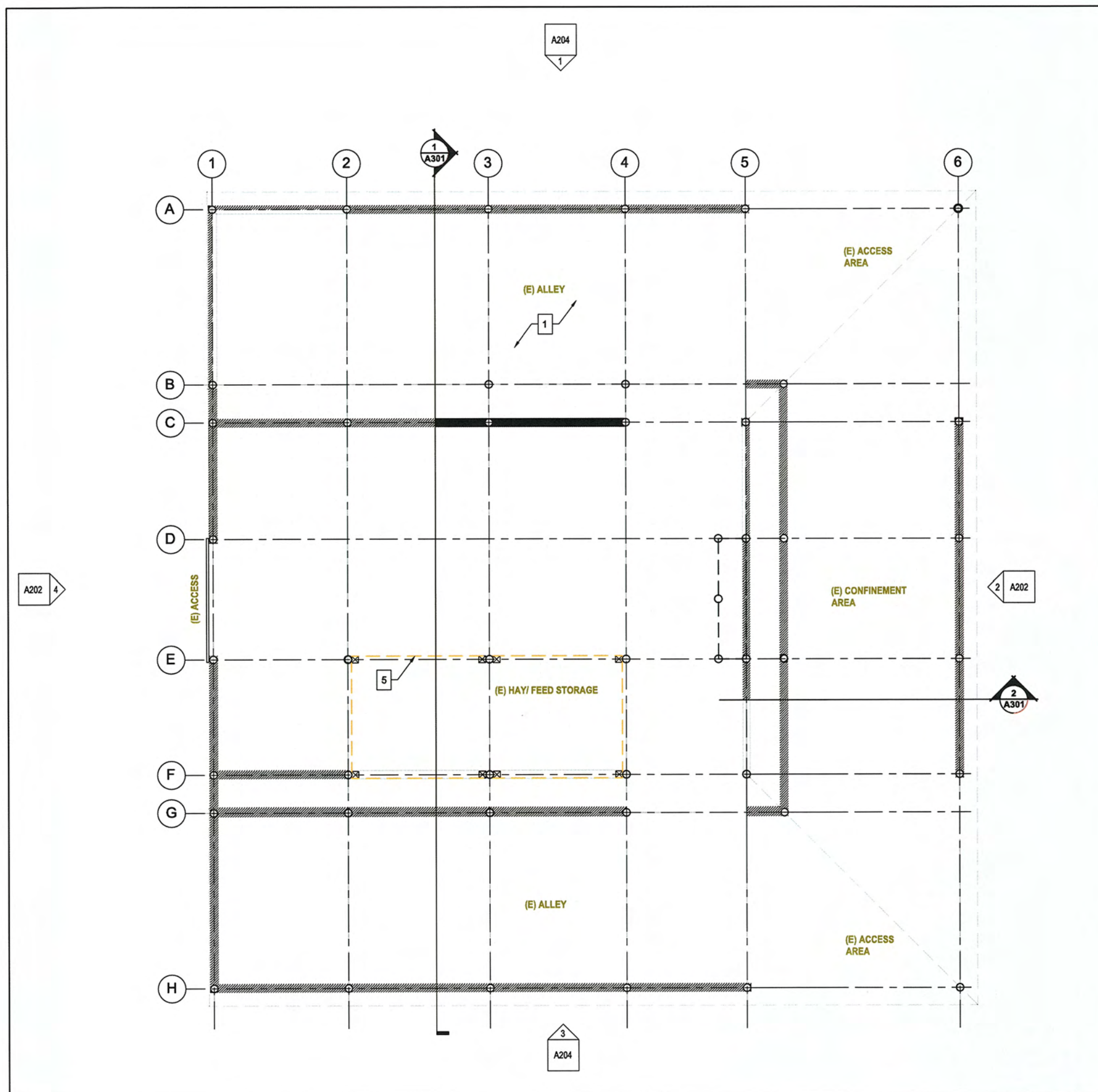
HELLWINKEL BARNS
BARN (A)

JOB NUMBER:	17-800
DATE:	3/19/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:
NEW FLOOR PLAN

SHEET NUMBER:

A200





© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 632.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

HELLWINKEL BARNS
BARN (A)

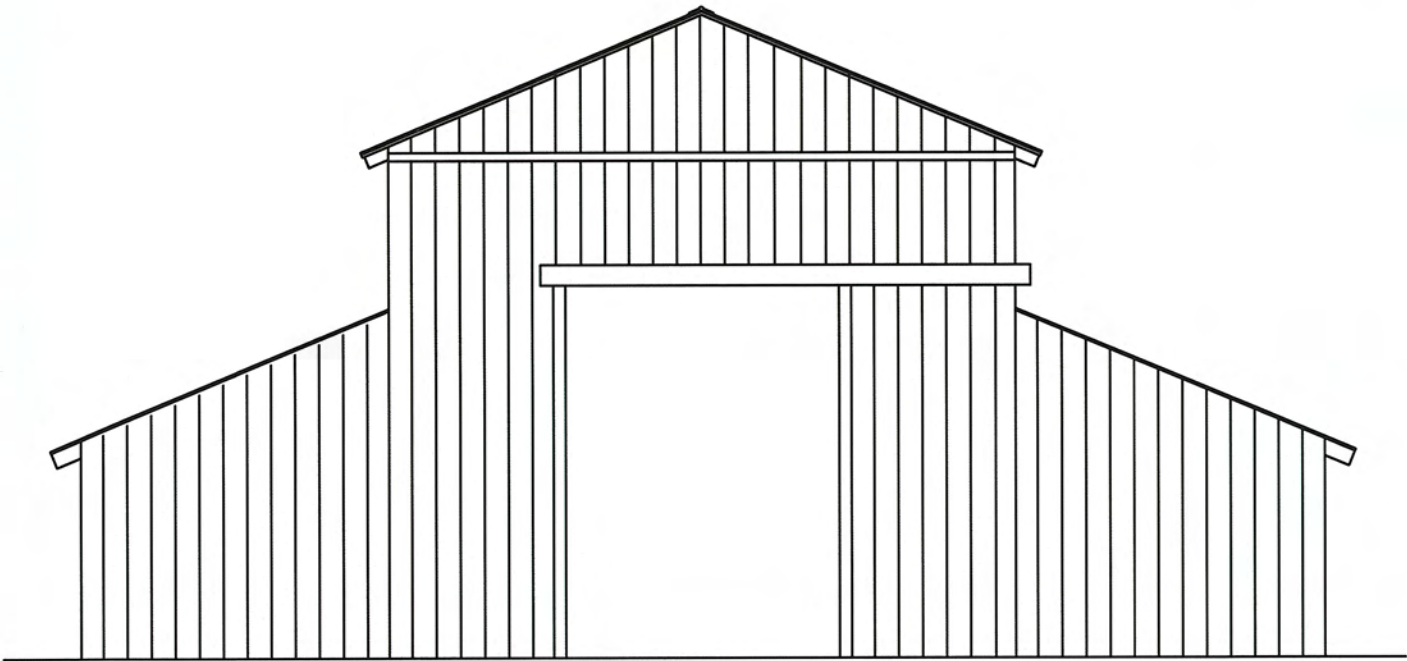
JOB NUMBER:	17-800
DATE:	3/19/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:

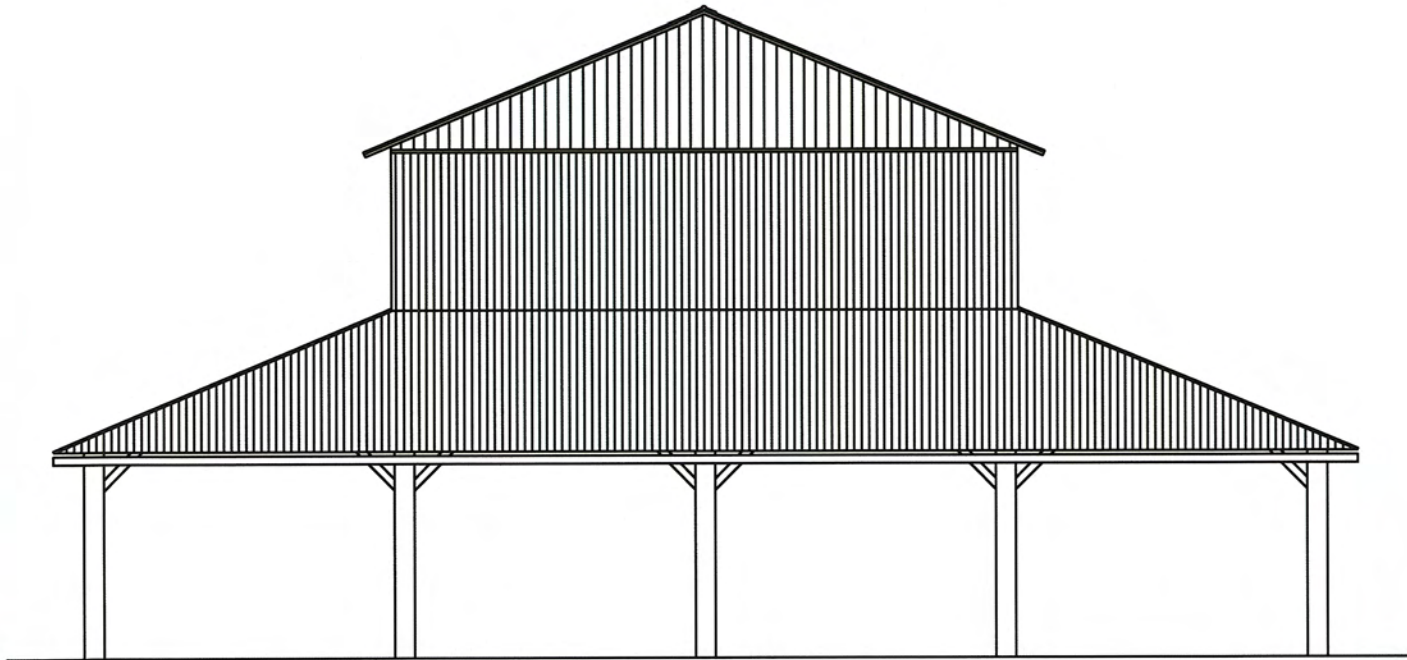
PROPOSED EAST AND WEST ELEVATIONS

SHEET NUMBER:

A201



PROPOSED WEST ELEVATION 4
SCALE: 1/4" = 1'-0" A102



PROPOSED EAST ELEVATION 2
SCALE: 1/4" = 1'-0" A102



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 632.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

HELLWINKEL BARNS
BARN (A)

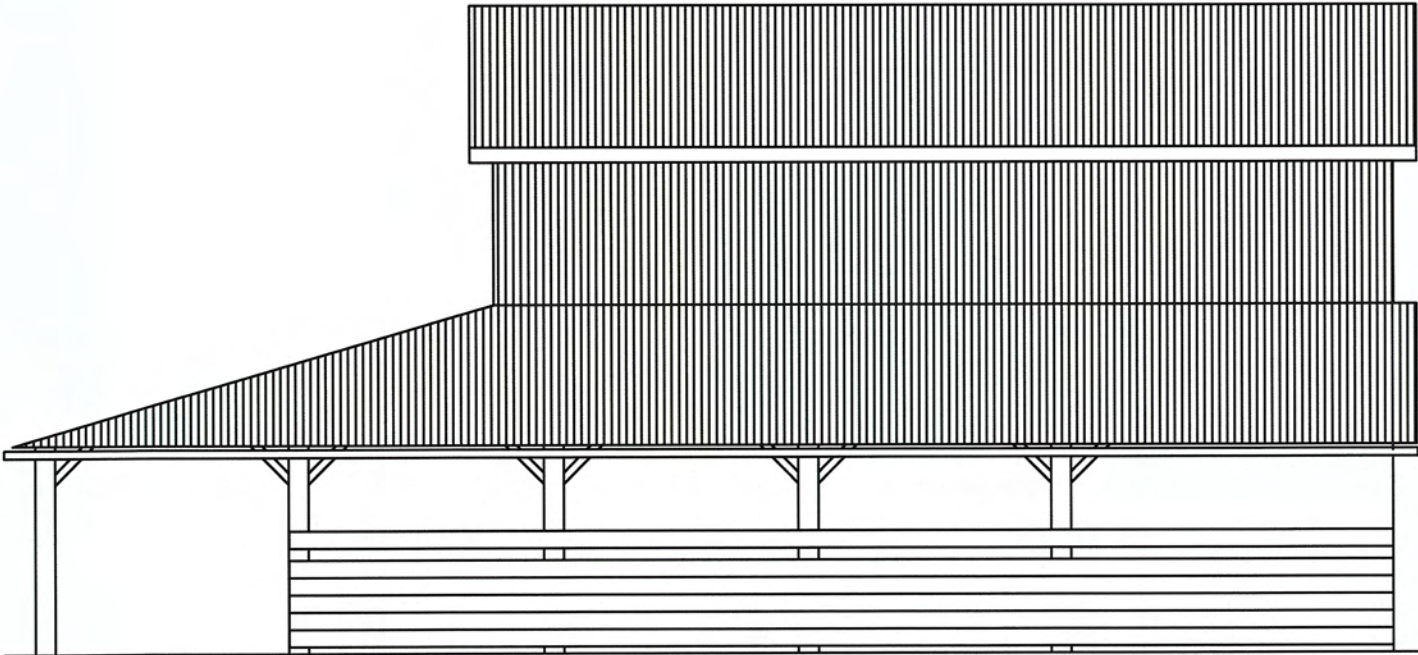
JOB NUMBER:	17-800
DATE:	3/19/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:

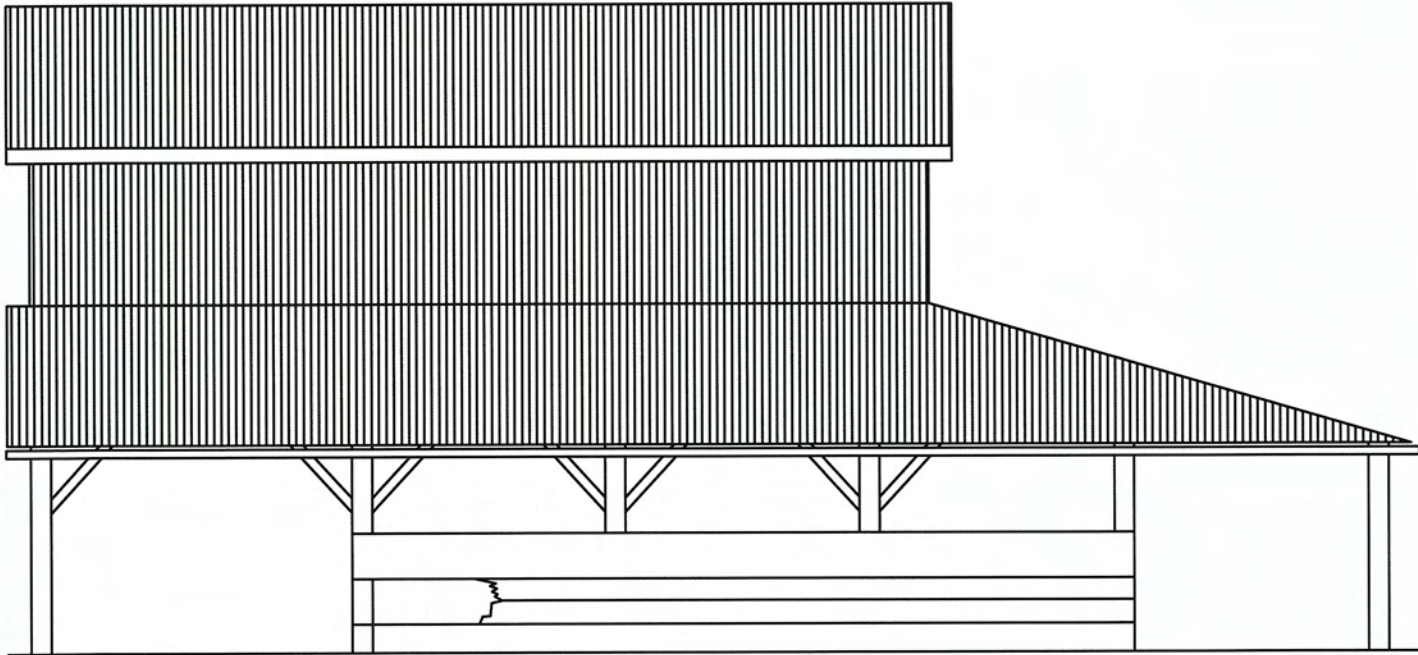
EXISTING NORTH AND SOUTH
ELEVATIONS

SHEET NUMBER:

A202



EXISTING NORTH ELEVATION 1
SCALE: 1/4" = 1'-0" A101



EXISTING SOUTH ELEVATION 3
SCALE: 1/4" = 1'-0" A101



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPANCY OF THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

HELLWINKEL BARNS
BARN (A)

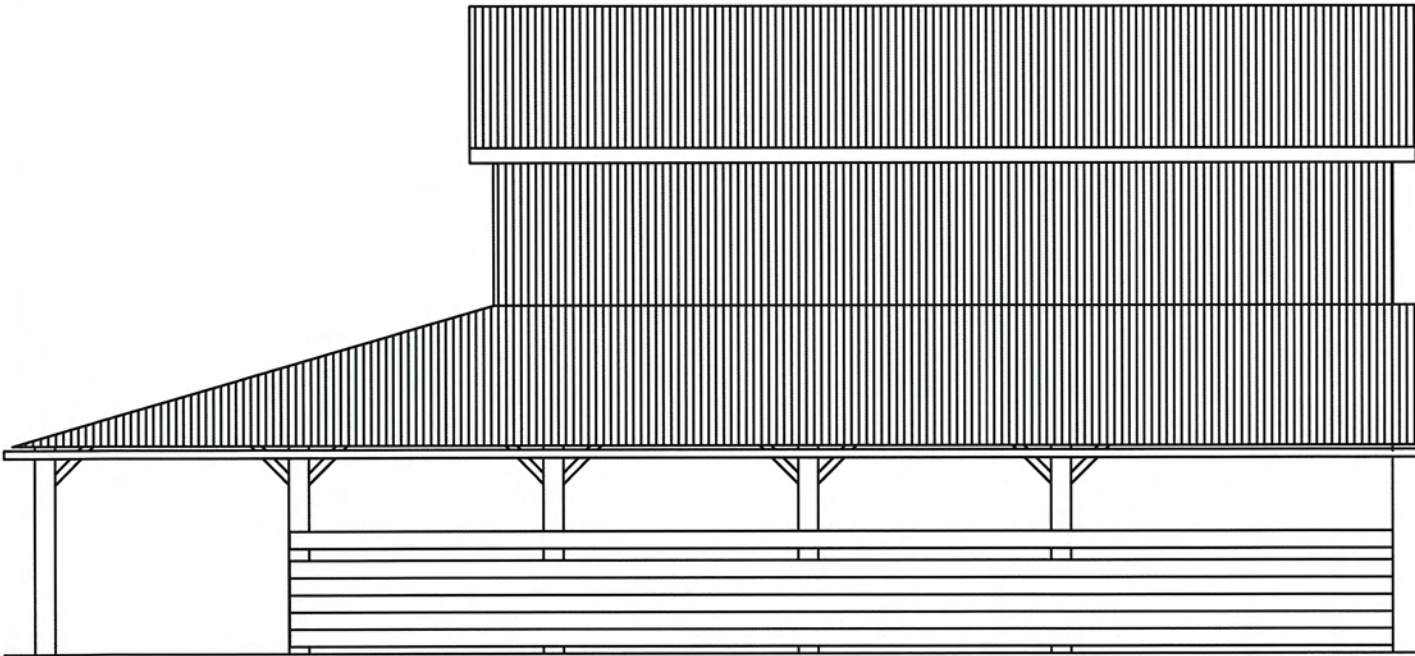
JOB NUMBER:	17-800
DATE:	3/19/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:

PROPOSED NORTH AND SOUTH
ELEVATIONS

SHEET NUMBER:

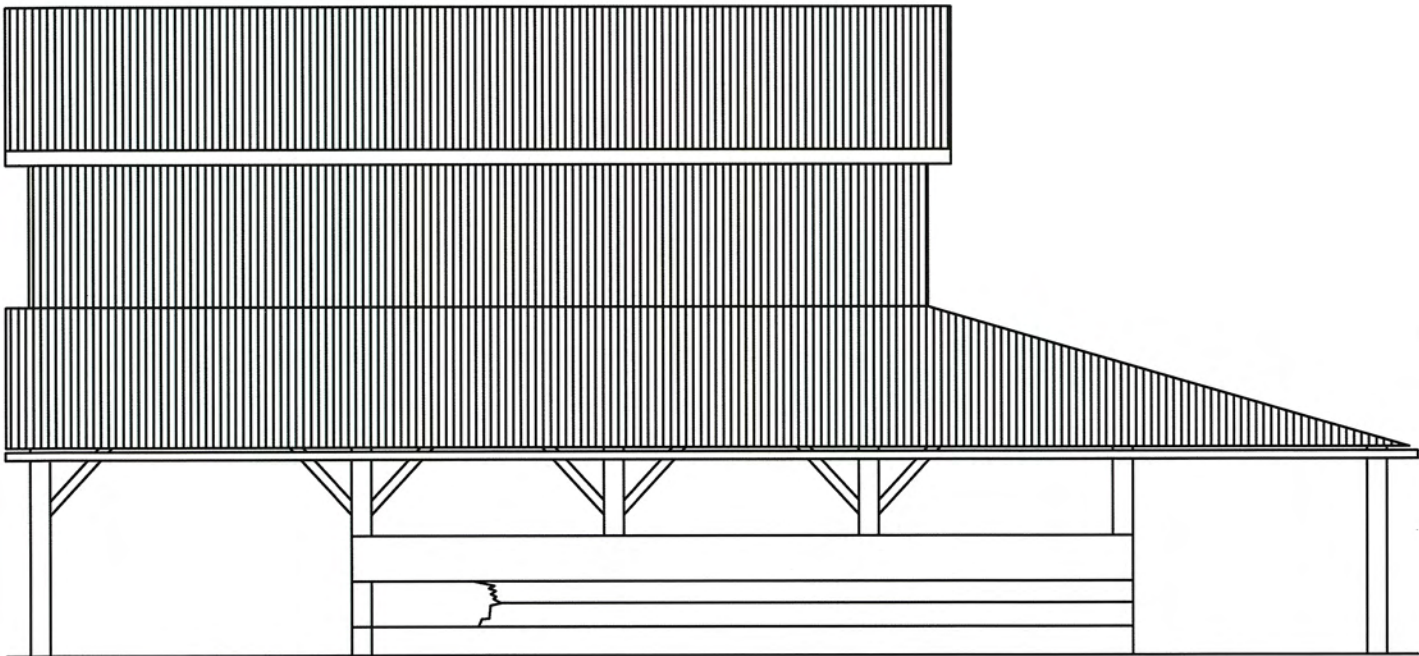
A203



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1
A102



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

3
A102



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

**HELLWINKEL BARN
BARN (A)**

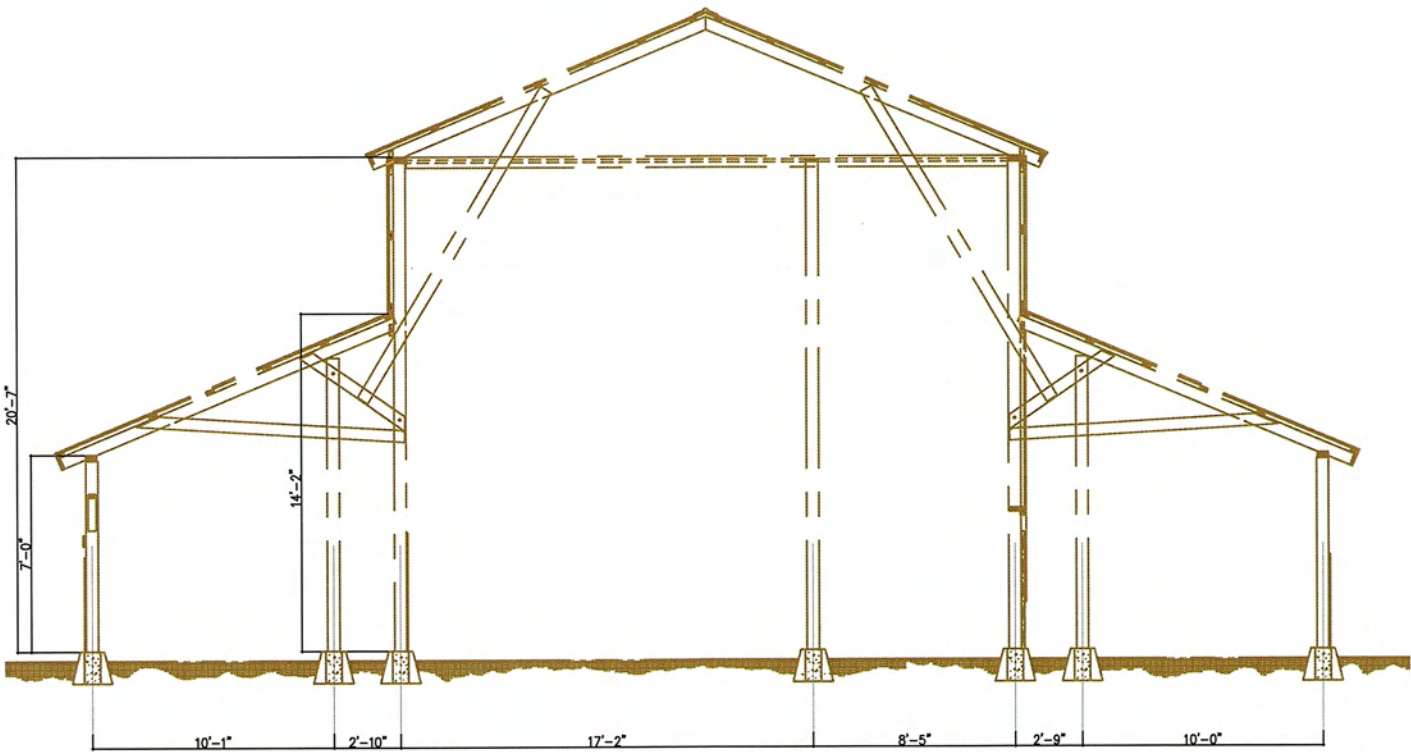
JOB NUMBER:	17-800
DATE:	3/19/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

SHEET DESCRIPTION:

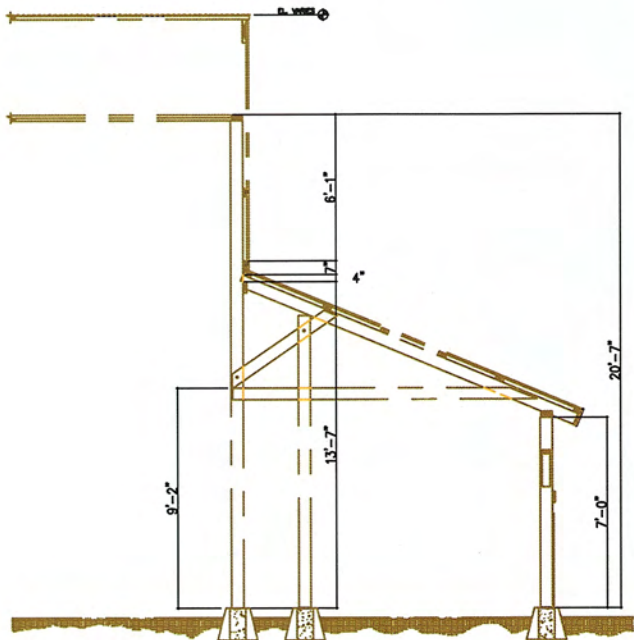
EXISTING BUILDING SECTIONS

SHEET NUMBER:

A300



EXISTING BUILDING SECTION **1**
SCALE: 1/4" = 1'-0" **A301**



EXISTING BUILDING SECTION **2**
SCALE: 1/4" = 1'-0" **A301**



© 2017 BY THE DUBÉ GROUP, INC.
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.
IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

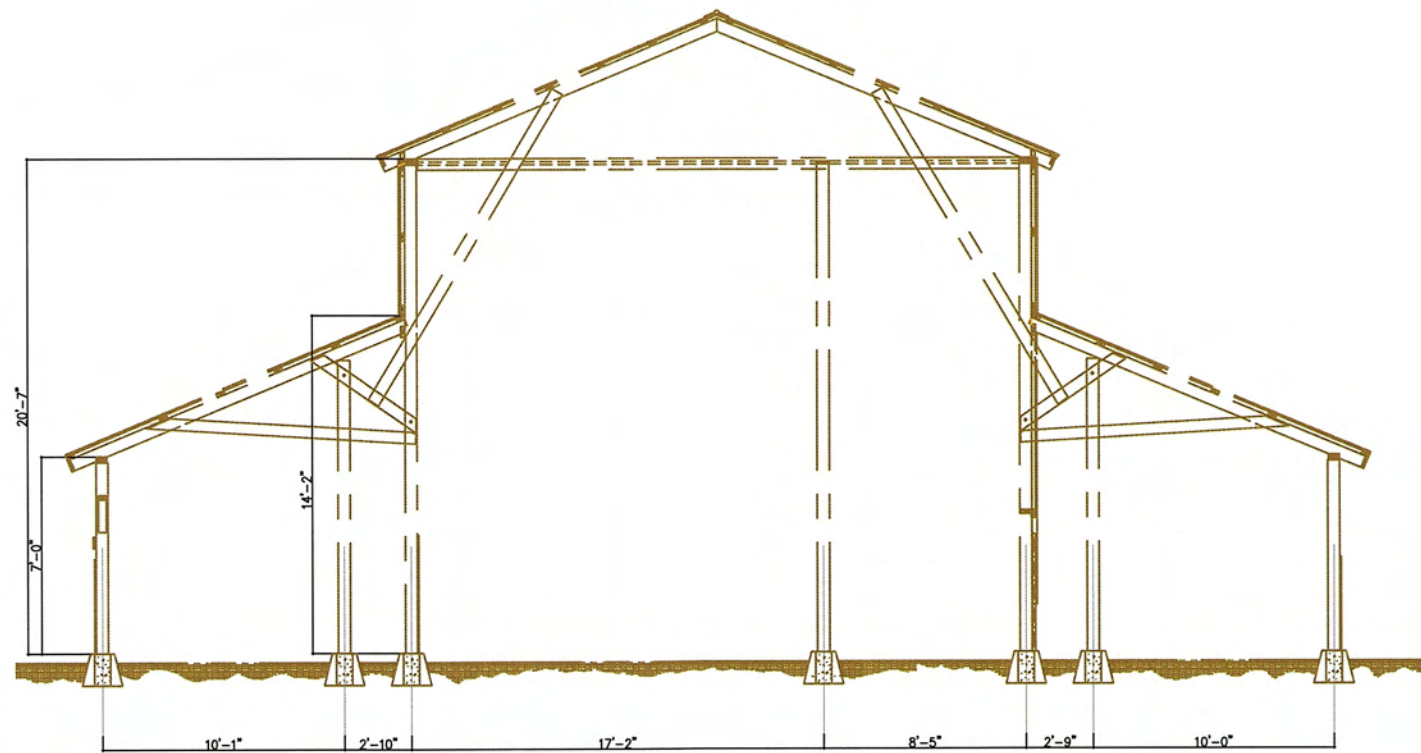
PROJECT TITLE:
**HELLWINKEL BARN
BARN (A)**

JOB NUMBER:	17-800
DATE:	3/19/2017
DRAWN BY:	ARL
CHECKED BY:	PRD
REVISIONS:	

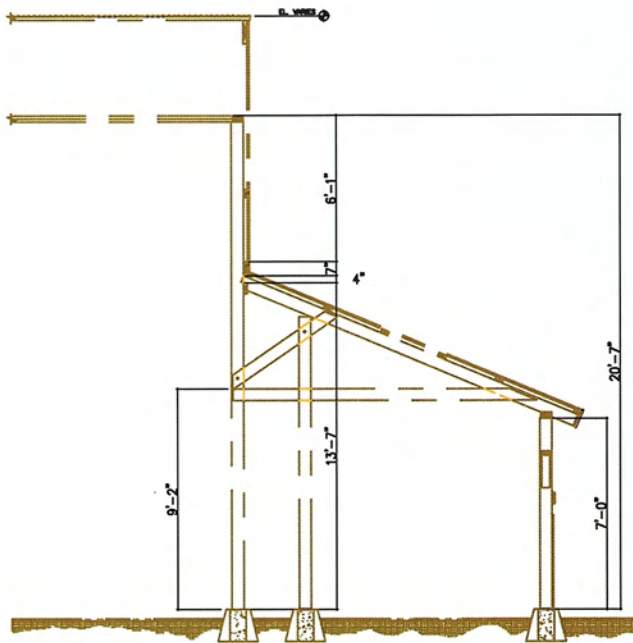
SHEET DESCRIPTION:
PROPOSED BUILDING SECTIONS

SHEET NUMBER:

A301



PROPOSED BUILDING SECTION **1**
SCALE: 1/4" = 1'-0" **A302**



PROPOSED BUILDING SECTION **2**
SCALE: 1/4" = 1'-0" **A302**

				KEYNOTE LEGEND
12 PLACEHOLDER DETAIL SCALE = NTS	9 PLACEHOLDER DETAIL SCALE = NTS	6 PLACEHOLDER DETAIL SCALE = NTS	3 PLACEHOLDER DETAIL SCALE = NTS	
11 PLACEHOLDER DETAIL SCALE = NTS	8 PLACEHOLDER DETAIL SCALE = NTS	5 PLACEHOLDER DETAIL SCALE = NTS	2 PLACEHOLDER DETAIL SCALE = NTS	
10 PLACEHOLDER DETAIL SCALE = NTS	7 PLACEHOLDER DETAIL SCALE = NTS	4 PLACEHOLDER DETAIL SCALE = NTS	1 PLACEHOLDER DETAIL SCALE = NTS	



© 2017 BY THE DUBÉ GROUP, INC.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER SECTION 102 OF THE COPYRIGHT ACT 17 U.S.C. AS AMENDED DECEMBER 1990 AND KNOWN AS THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. ANY USE OR REPRODUCTION OF THIS DRAWING IN WHOLE OR IN PART BY ANY MEANS WHATSOEVER IS STRICTLY PROHIBITED EXCEPT WITH THE SPECIFIC WRITTEN CONSENT OF THE ARCHITECT.

IN ACCORDANCE WITH NEVADA ADMINISTRATIVE CODE 623.780, DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE ARCHITECT. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR CONSTRUCTION OF ANY OTHER PROJECT. POSSESSION OF THESE DRAWINGS AND SPECIFICATIONS ON COMPUTER DISK OR OTHER ELECTRONIC MEANS IS STRICTLY PROHIBITED.

PROJECT TITLE:

MCCARRAN RANCH HOUSE
HISTORIC RENOVATION

JOB NUMBER:	17-1100
DATE:	8/14/2017
DRAWN BY:	ARL
CHECKED BY:	
REVISIONS:	

SHEET DESCRIPTION:

DETAILS

SHEET NUMBER:

A500

ABBREVIATIONS

AB	ANCHOR BOLT	DS	DEFORMED SHANK	HORIZ(H)	HORIZONTAL	PL	PLATE
L	ANGLE	DIA OR Ø	DIAMETER	HSB	HIGH STRENGTH BOLT	PLBG	PLYWOOD
ARCH	ARCHITECT(URAL)	EXIST(E)	EXISTING	INT	INTERIOR	PLYW	PLYWOOD
BM	BEAM	EF	EACH FACE	JT	JOINT	PSL	PARALLAM®
BRG	BEARING	ELEC	ELECTRICAL	LLV	LONG LEG HORIZONTAL	PT	PRESSURE TREATED
BTWN	BETWEEN	EL	ELEVATION (DATUM)	LLV	LONG LEG VERTICAL	REIN	REINFORCEMENT
BEV	BEVEL(ED)	ELEV	ELEVATOR	LVL	MICROLAM	REQ'D	REQUIRED
BLK(G)	BLOCK(ING)	EN	EDGE NAILING	MAX	MAXIMUM	R.O.	ROUGH OPENING
BS	BOTH SIDES	ES	EACH SIDE	MB	MACHINE BOLTS	SM	SIMILAR
BOT	BOTTOM	EA	EACH	MIN	MINIMUM	STD	STANDARD
BLDG	BUILDING	EW	EACH WAY	MAS	MASONRY	STIFF	STIFFENER
CB	CARRIAGE BOLT(S)	EXT	EXTERIOR	MFR	MANUFACTURER	STL	STEEL
CTR	CENTER	FIN	FINISH	MO	MASONRY OPENING	T&B	TOP & BOTTOM
CL	CENTER LINE	FLR	FLOOR	MECH	MECHANICAL	T.O.	TOP OF
CJ	CONSTRUCTION JOINT	FND	FOUNDATION	NS	NEAR SIDE	T.O.P.	TOP OF PLYWOOD
CCJ	CONTROL JOINT	FOS	FACE OF STUD(S)	NSA	NELSON STUD® ANCHOR	T.O.S.	TOP OF STEEL
CMU	CONCRETE MASONRY UNIT	FS	FACE SIDE	(N)	NEW	TYP	TYPICAL
CTS	COUNTERSINK	FTG	FOOTING	NTS	NOT TO SCALE	V.I.F.	VERIFY IN FIELD
CLR	CLEAR	GLB	GLUED LAMINATED BEAM	OC	ON CENTER	VERT(V)	VERTICAL
CONC	CONCRETE	HDR	HEADER	OPNG	OPENING	W/F	WELDED WIRE FABRIC
CONN	CONNECTION			OSB	ORIENTED STRAND BOARD	W/	WITH

THE FOLLOWING NOTES SHALL APPLY TO ALL SHEETS:

- IT SHALL BE THE CONTRACTOR'S DIRECT RESPONSIBILITY TO COMPLY WITH GENERAL NOTES AND WITH SECTIONS AND DETAILS AS DELINEATED OR DEFINED IN THESE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. DRAWINGS ARE DIAGRAMMATIC AND MAY NOT SCALE ACCURATELY. ANY DIMENSIONAL OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES.

BASIS OF DESIGN

CODE REFERENCE - 2012 IBC OCCUPANCY CATEGORY II

WIND LOADS		SEISMIC LOADS	
Basic Wind Speed, Vult	130 mph	Site Class	D
Exposure	C	Ie	1.0
Enclosure Classification	Enclosed	Se	1.50
		S1	0.778
		Sds	1.00
		Sd1	0.778
		Seismic Design Category	D
		Basic Seismic Force Resisting System(s)	Light Framed Walls with Shear Panels of Materials Other Than Wood Structural Panels (R=2.0)
		Analysis Procedure	Equivalent Lateral Force Procedure
		Base Shear, V=CaW	0.35W ASD
SNOW LOADS		SOILS	
Ground Snow Load, Pg	30 psf	Maximum Allowable Soil Bearing	1,500 psf, Assumed
Ce	1.0	Frost Depth	18"
Ct	1.2		
Is	1.0		
Flat Roof Snow Load	30 psf		

NOTE:
THE CONSTRUCTION MEASURES DELINEATED IN THESE DRAWINGS ARE INTENDED TO REPAIR AND STRENGTHEN SELECTED PORTIONS OF THE EXISTING STRUCTURES. THE 2012 IBC WAS USED AS A GUIDE. IT IS NOT THE INTENT THAT THE ENTIRE STRUCTURE BE UPGRADED TO MEET THE REQUIREMENTS OF THE 2012 IBC.

PROJECT TITLE

STRUCTURAL DRAWINGS

FOR

TOWN OF GARDNERVILLE BARN STRUCTURES

1381 US HIGHWAY 395

INDEX TO DRAWINGS

	S0.1	STRUCTURAL COVER SHEET/GENERAL NOTES
	S1.1	TYPICAL DETAILS
BARN A	S2.1	FOUNDATION/GROUND LEVEL PLAN
	S2.2	LOW ROOF FRAMING PLAN
	S2.3	HIGH ROOF FRAMING PLAN
	S3.1	BUILDING SECTION
	S3.2	PARTIAL BUILDING SECTION
	S3.3	WALL ELEVATION
	S4.1	SITE PHOTO IMAGES
	S4.2	SITE PHOTO IMAGES
	S4.3	SITE PHOTO IMAGES
BARN B	S5.1	GROUND LEVEL AND ROOF FRAMING PLANS
	S5.2	BUILDING SECTION, EXISTING CONDITION
	S5.3	BUILDING SECTION, IMPROVEMENTS
	S6.1	SITE PHOTO IMAGES

GENERAL NOTES

I. GENERAL

- THE FOLLOWING GENERAL NOTES APPLY TO ALL STRUCTURAL DRAWINGS UNLESS NOTED OTHERWISE.
- ALL PHASES OF WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2012 INTERNATIONAL BUILDING CODE AND THE LATEST EDITION OF ASTM OR OTHER INDUSTRY STANDARDS REFERENCED.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE UNLESS OTHERWISE INDICATED. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. THESE MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, PREPARING AND FOLLOWING A WRITTEN SAFETY PROGRAM FOR THE CONSTRUCTION PROJECT, BRACING, SHORING FOR CONSTRUCTION EQUIPMENT, SHORING FOR THE BUILDING, FORMS AND SCAFFOLDING, AND ALL RETAINING WALLS. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REGULATIONS AND RETAIN HIS OWN ENGINEER WHEN REQUIRED.
- IN THE EVENT THAT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR CALLED FOR AND SHALL BE REVIEWED BY THE ENGINEER.
- IN THE EVENT THAT CERTAIN EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED SO THAT THE PROPER REVISIONS CAN BE MADE IF NECESSARY.
- NO CHANGES OR DEVIATIONS FROM THE PLANS AND SPECIFICATIONS WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER.
- OPENINGS, POCKETS, HOLES, CANS, ETC. SHALL NOT BE PLACED IN ANY SLAB, BEAM, COLUMN, WALL, OR OTHER STRUCTURAL MEMBER UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS OR WRITTEN PERMISSION IS OBTAINED FROM THE ENGINEER.
- WHERE SHOP DRAWINGS ARE REQUIRED, THEY SHALL BE COMPLETE AND COORDINATED BY THE CONTRACTOR. REPRODUCTIONS OF CONTRACT DRAWINGS WILL NOT BE ACCEPTABLE.

II. FOUNDATIONS

- FOUNDATION DESIGN ASSUMES THE PRESENCE OF ADEQUATE NATIVE SOILS. THE CONTRACTOR SHALL VERIFY THAT EXISTING SOILS ARE SUITABLE FOR THE PROPOSED IMPROVEMENTS AND SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY DEFICIENCIES OR DISCREPANCIES ARE NOTED SO THAT APPROPRIATE MEASURES CAN BE TAKEN.
- NATIVE MATERIALS, FILL AND BACKFILL SHALL BE REASONABLY WELL GRADED, FREE OF ORGANICS, WITH 100% PASSING THE 4" SIEVE, 70% TO 100% PASSING THE 3/4" SIEVE, 15% TO 85% PASSING THE #40 SIEVE AND 5% TO 20% PASSING THE #200 SIEVE. THE LIQUID LIMIT SHALL NOT EXCEED 35 AND THE PLASTIC INDEX SHALL NOT EXCEED 12.
- STRIP SITE AS REQUIRED FOR IMPROVEMENTS, CLEAR ALL EXISTING STRUCTURES, DEBRIS, PAVING AND ORGANICS. THE CONTRACTOR SHALL TAKE CARE TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION AND AVOID OR RE-LOCATE UTILITIES AS REQUIRED.
- EXCAVATE AS NECESSARY TO PROPERLY CONSTRUCT IMPROVEMENTS.
- SCAFFOLD, MOISTURE CONDITION, AND RE-COMPACT FOOTING SUB-GRADES TO 95% RELATIVE COMPACTION. PLACE FILL AND BACKFILL IN UNIFORM HORIZONTAL LIFTS OF 6" COMPACTED THICKNESS. MOISTURE CONDITION AND COMPACT TO 95% RELATIVE COMPACTION BELOW IMPROVEMENTS AND TO 90% RELATIVE COMPACTION OUTSIDE OF IMPROVEMENTS.
- FOOTINGS MAY BE POURED IN NEAT EXCAVATION WHERE POSSIBLE. PROVIDED AN EXTRA 1" WIDTH OF FOOTING IS PROVIDED ON EACH SIDE AND WRITTEN APPROVAL IS GIVEN BY THE ENGINEER.
- ALL FOOTING EXCAVATIONS SHALL BE HAND CLEANED PRIOR TO PLACING CONCRETE.
- CONCRETE SLABS, STEPS AND PLATWORK SHALL BE PLACED OVER 6" COMPACT, TYPE II AGGREGATE BASE. COMPACT AGGREGATE BASE TO 95% RELATIVE COMPACTION.
- TRENCHING AND BACKFILL FOR UTILITIES SHALL COMPLY WITH THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION AND WITH ALL BEST INDUSTRY PRACTICES.

III. CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ACI MANUAL OF CONCRETE PRACTICE.
- CONCRETE AT FOUNDATIONS OR WALLS IN CONTACT WITH SOILS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. SHALL HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.50, AND SHALL HAVE AN ENTRAPPED AIR CONTENT OF 1% TO 3%.
- EXTERIOR CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. SHALL HAVE A MAXIMUM WATER TO CEMENT RATIO OF 0.45, SHALL HAVE AN ENTRAPPED AIR CONTENT OF 5% TO 7%, AND SHALL CONTAIN 1.5 LB/CY OF FIBERMESH STEALTH POLYPROPYLENE FIBERS OR APPROVED EQUAL.
- ALL CONCRETE MIXES SHALL UTILIZE TYPE I OR II ALKALI CEMENT CONFORM TO ASTM C150. LIGHT WEIGHT AGGREGATE SHALL CONFORM TO ASTM C330. COURSE AGGREGATE GRADATION SHALL MEET THE REQUIREMENTS OF SIZE NO. 67 UNLESS NOTED OTHERWISE.
- CONCRETE SLUMP SHALL NOT EXCEED 3" WHEN TESTED IN ACCORDANCE WITH ASTM C143 FOR FOOTINGS, SLABS, BEAMS AND GIRDERS OR 4" FOR CAST-IN-PLACE WALLS AND COLUMNS. SLUMP INDICATED IS WITH WATER ONLY. ADDITIONAL SLUMP IS ACCEPTABLE IF ADDED BY MEANS OF APPROVED ADJUTIVES THAT DO NOT INCREASE SHRINKAGE OR ADVERSELY AFFECT THE CONCRETE.
- NON-SHRINK GROUT OR DRY PACK SHALL BE A PREMIXED, NONMETALLIC FORMULA WITH A MINIMUM COMPRESSIVE STRENGTH OF 7000 PSI AT 28 DAYS AND HAVING THE FOLLOWING CHARACTERISTICS: NO SHRINKAGE AFTER PLACEMENT OR EXPANSION AFTER SET (ASTM C1090), THREE DAY COMPRESSIVE STRENGTH OF AT LEAST 5000 PSI AND INITIAL SET TIME OF NOT LESS THAN 45 MINUTES. PROVIDE MASTER BUILDERS "CONSTRUCTION GROUT", OR AN APPROVED EQUAL.
- REINFORCING SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. ALL REINFORCING TO BE WELDED OR FIELD BENT SHALL CONFORM TO ASTM A706. SUPPORTS AND ACCESSORIES SHALL BE FURNISHED AS SHOWN OR REQUIRED. CHAIRS PLACED AGAINST EXPOSED SURFACES SHALL BE GALVANIZED OR PROVIDED WITH PLASTIC FEET.
- WELDED WIRE FABRIC (WFF) WITH PLAIN REINFORCING WIRE SHALL CONFORM TO ASTM A185. STRUCTURAL WELDED WIRE REINFORCING (SWWR) WITH DEFORMED REINFORCING WIRE SHALL CONFORM TO ASTM A497. WFF AND SWWR SHALL HAVE WIRE SIZES AND SPACINGS AS INDICATED ON PLANS AND DETAILS. LAP SHEETS IN ACCORDANCE WITH ACI AND CRSI RECOMMENDATIONS.
- MINIMUM COVERAGE FOR REINFORCING SHALL BE THE CLEAR DISTANCE TO THE FACE OF BARS AS FOLLOWS: 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH; 2" FOR #6 AND LARGER BARS FROM FORMED SURFACES EXPOSED TO EARTH OR WEATHER (1 1/2" FOR #5 AND SMALLER).
- ALL REINFORCING STEEL, INCLUDING MESH AT SLABS, SHALL BE ACCURATELY POSITIONED AND SECURED IN PLACE WITH CHAIRS, RES. BOLTERS OR DOBBS PRIOR TO PLACEMENT OF CONCRETE AS RECOMMENDED IN THE CRSI MANUAL OF STANDARD PRACTICE.
- SPLICES IN REINFORCEMENT SHALL NOT BE MADE AT OR NEAR POINTS OF MAXIMUM STRESS. SPLICES SHALL BE LAPPED NOT LESS THAN 48 DIAMETERS. IN NO CASE SHALL A SPlice BE LESS THAN 16".
- CONCRETE FORMWORK SHALL CONFORM TO ACI 347. CLEAN AND DRESSED DIMENSIONS. NEW FRAMING MAY BE DRESSED OR FULL SAWN AT CONTRACTOR'S OPTION. CONTRACTOR SHALL VERIFY CROSS-SECTIONAL DIMENSIONS OF EXISTING LUMBER AND SELECT APPROPRIATE VERSIONS OF THE SPECIFIED HARDWARE FOR THE ACTUAL MEMBER SIZE. SIMILARLY, SHIMS SHALL BE USED (1/2" MAX.) WHERE REQUIRED TO ALIGN NEW AND EXISTING FRAMING.
- SACK AND PATCH FORMED CONCRETE EXPOSED TO VIEW FOR A SMOOTH FINISH. PATCH LARGE HOLES OR DEFECTS AT FORMED CONCRETE NOT EXPOSED TO VIEW. FRESHLY PLACED CONCRETE SHALL BE CURED AND PROTECTED FROM THE WEATHER IN ACCORDANCE WITH ACI 308 IN HOT WEATHER AND ACI 308 IN COLD WEATHER.
- ALL CONCRETE EDGES, CORNERS AND INTERSECTIONS SHALL BE TOoled OR CHAMFERED NO LESS THAN 3/4" WHETHER SHOWN ON THE DRAWINGS OR NOT.
- CONSTRUCTION JOINTS WILL NOT BE PERMITTED, EXCEPT AS SHOWN ON THE DRAWINGS, WITHOUT WRITTEN CONSENT OF THE ENGINEER.

IV. STRUCTURAL STEEL

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE AISC MANUAL OF STEEL CONSTRUCTION.
- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36, UNLESS NOTED OTHERWISE. W SHAPES SHALL CONFORM TO ASTM A992. PIPE SHALL CONFORM TO ASTM A53, GRADE B. HOLLOW STRUCTURAL SECTIONS (HSS) SHALL CONFORM TO ASTM A500, GRADE B.
- ANCHOR BOLTS (AB) SHALL CONFORM TO ASTM F1554 GRADE 36, UNLESS NOTED OTHERWISE. MACHINE BOLTS (MB) SHALL CONFORM TO ASTM A307.
- HEADED STUDS SHALL BE NELSON STUD ANCHORS (NSA) BY TRW OR APPROVED EQUAL, AND SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY'S SPECIFICATIONS FOR THE MATERIAL BEING WELDED. ALL WELDING SHALL BE PERFORMED ONLY BY AWS CERTIFIED WELDERS.
- ALL STRUCTURAL STEEL WORK SHALL BE SHOP PAINTED AND TOUCHED UP IN THE FIELD AFTER ERECTION EXCEPT WHERE STEEL IS TO BE EMBEDDED IN CONCRETE, OR WHERE REQUIRED FOR SPECIAL CONNECTIONS. PROVIDE 3" MINIMUM CONCRETE COVER FOR ALL STEEL EXPOSED TO EARTH.
- SHOP DRAWINGS OF ALL STRUCTURAL STEEL SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO ANY FABRICATION.

V. WOOD FRAMING

- FRAMING LUMBER USED IN FLEXURE SHALL BE DOUGLAS FIR NO.2 FOR 2X8 AND SMALLER AND DOUGLAS FIR NO. 1 FOR MEMBERS LARGER THAN 2X8. STRUCTURAL WALL STUDS SHALL BE DOUGLAS FIR NO.1. WOOD POSTS SHALL BE DOUGLAS FIR NO.1.
- PLATES, BRIDGING, AND BLOCKING SHALL BE DOUGLAS FIR NO. 2 MINIMUM.
- PLATES ATTACHED TO CONCRETE OR MASONRY AT GRADE SHALL BE PRESSURE TREATED. CONNECTORS FOR PRESSURE TREATED LUMBER AND EXTERIOR CONDITIONS SHALL BE GALVANIZED OR STAINLESS.
- FRAMING LUMBER MOISTURE CONTENT AT THE TIME OF DELIVERY TO THE JOB SHALL NOT EXCEED 19% BY WEIGHT.
- SHEATHING SHALL BE APA APPROVED PLYWOOD OR OSB OF THE GRADES AND SIZES SHOWN ON THE DRAWINGS. OSB SHALL NOT BE USED IN CONDITIONS WITH EXTERIOR EXPOSURE.
- NAILING SHALL BE IN ACCORDANCE WITH 2012 IBC TABLE 2304.9.1 FASTENING SCHEDULE WHERE NOT OTHERWISE SHOWN ON DRAWINGS.
- BOLTS SHALL CONFORM TO ASTM A307 WITH STANDARD CUT WASHERS WHERE HEAD OR NUT BEARS ON WOOD.
- FRAMING ANCHORS, STRAPS, CONNECTIONS, HANGERS, ETC., SHALL BE SIMPSON STRONG TIE, SILVER OR EQUAL HAVING ICC APPROVAL. PREDRILL NAIL HOLES AS REQUIRED TO AVOID SPLITTING. ALL HANGERS AND CONNECTIONS SHALL BE NAILED FOR MAXIMUM CAPACITY.
- THE EXISTING FRAMING CONTAINS LUMBER WITH FULL SAWN, AND DRESSED DIMENSIONS. NEW FRAMING MAY BE DRESSED OR FULL SAWN AT CONTRACTOR'S OPTION. CONTRACTOR SHALL VERIFY CROSS-SECTIONAL DIMENSIONS OF EXISTING LUMBER AND SELECT APPROPRIATE VERSIONS OF THE SPECIFIED HARDWARE FOR THE ACTUAL MEMBER SIZE. SIMILARLY, SHIMS SHALL BE USED (1/2" MAX.) WHERE REQUIRED TO ALIGN NEW AND EXISTING FRAMING.

VI. MANUFACTURED LUMBER PRODUCTS

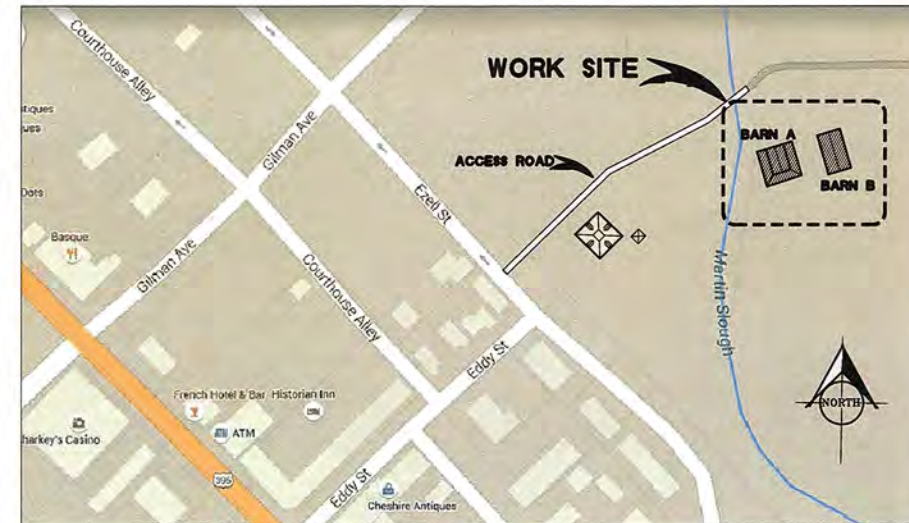
- PARALLEL STRAND LUMBER (PSL) SHALL BE 2.0E PARALLAM BY TRUSJOIST OR APPROVED EQUAL.
- LAMINATED VENEER LUMBER (LVL) SHALL BE 1.6E MICROLAM BY TRUSJOIST OR APPROVED EQUAL.
- LAMINATED STRAND LUMBER (LSL) SHALL BE 1.6E TIMBERSTRAND BY TRUSJOIST OR APPROVED EQUAL.
- MANUFACTURED LUMBER PRODUCTS SHALL BE PRESSURE TREATED WHERE REQUIRED BY THE DRAWINGS.

VII. HOLES IN STRUCTURES

- OPENINGS, POCKETS, HOLES, CANS, ETC. SHALL NOT BE PLACED IN ANY SLAB, BEAM, COLUMN, WALL, OR OTHER STRUCTURAL MEMBER UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS OR WRITTEN PERMISSION IS OBTAINED FROM THE ARCHITECT.
- DO NOT OVERCUT AT CORNERS WHEN CUTTING A NEW OPENING IN EXISTING CONCRETE OR MASONRY. COREDRILL, CHIP AND GRIND AS REQUIRED AT CORNERS. A LAYOUT OF ALL PROPOSED OPENINGS SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO SAWCUTTING.

VIII. POST INSTALLED ANCHORS

- EXPANSION ANCHORS SHALL BE SIMPSON "STRONG-BOLT 2" PER ICC-ES ESR-3037 (IN CONCRETE) OR PER IPWMO ES ER-240 (IN MASONRY); HILTI "Kwik Bolt 3" PER ICC-ES ESR-2302 (IN CONCRETE) OR PER R ICC-ES ESR-1385 (IN MASONRY); DEWALT/POWERS "POWER-STUD+S2" PER ICC-ES ESR-2502 (IN CONCRETE) OR ICC-ES ESR-2666 (IN MASONRY) OR APPROVED EQUAL. PERIODIC SPECIAL INSPECTION REQUIRED.
- EPOXY/ADHESIVE ANCHORS SHALL USE SIMPSON "SET-XP" PER ICC-ES ESR-2508 (IN CONCRETE) OR PER ICC-ES ESR-1772 (IN MASONRY); HILTI "HIT-RE 500-S2" PER ICC-ES ESR-2322 (IN CONCRETE) OR HILTI "HIT-HY 150 MAX" PER ICC-ES ESR-1987 (IN MASONRY); DEWALT/POWERS "PURE 10+EPOXY" PER ICC-ES ESR-3298 (IN CONCRETE); OR DEWALT/POWERS "AC100+GOLD" PER ICC-ES ESR-3200 (IN MASONRY) OR APPROVED EQUAL. PERIODIC SPECIAL INSPECTION REQUIRED.
- HEAVY DUTY SCREW ANCHORS SHALL BE SIMPSON "TITEN HD" PER ICC-ES ESR-2713 (IN CONCRETE) OR PER ICC-ES ESR-1056 (IN MASONRY); HILTI "Kwik HUS-EZ" PER ICC-ES ESR-3027 (IN CONCRETE) OR PER ICC-ES ESR-3036 (IN MASONRY); DEWALT/POWERS "WEDGE BOLT 4" PER ICC-ES ESR-2526 (IN CONCRETE) OR ICC-ES ESR-1676 (IN MASONRY) OR APPROVED EQUAL. PERIODIC SPECIAL INSPECTION REQUIRED.
- ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ALL EVALUATION REPORT AND MANUFACTURER RECOMMENDATIONS AND SPECIAL INSPECTION SHALL BE PROVIDED WHERE REQUIRED.
- WHERE POST INSTALLED ANCHORS ARE TO BE USED, IT SHALL BE THE CONTRACTOR'S DIRECT RESPONSIBILITY TO COORDINATE THE LOCATIONS OF REINFORCING STEEL OR OTHER SIMILARLY EMBEDDED ITEMS TO WORK WITH POST INSTALLED ANCHORS AND TO AVOID CONFLICTS WHEN DRILLING HOLES.
- INSTALLATION OF ADHESIVE ANCHORS THAT ARE TO BE UNDER SUSTAINED TENSION LOADING IN HORIZONTAL TO VERTICAL OVERHEAD ORIENTATION SHALL BE DONE BY A CERTIFIED ADHESIVE ANCHOR INSTALLER (AAI) AS CERTIFIED THROUGH ACI AND IN ACCORDANCE WITH 318-2011 (SECTION D.9.2.2). PROOF OF CURRENT CERTIFICATION SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCEMENT OF INSTALLATION.
- PER ACI 318-2011 (SECTION D.2.2), ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE HAVING A MINIMUM AGE OF 21 DAYS AT TIME OF ANCHOR INSTALLATION.



VICINITY MAP



SITE VIEW

REVISIONS



HYYTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395

STRUCTURAL COVER
SHEET

GENERAL NOTES

DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

S0.1

REVISIONS

HYTTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395

TYPICAL DETAILS

DRAWN	A.M.
CHECKED	R.H.
DATE	4-19-17
SCALE	AS NOTED
JOB NO.	65-15
SHEET	

S1.1

TYP. REINFORCEMENT LAP IN FOOTING
N.T.S.

HOOKS AND BENDS FOR PRINCIPAL REINFORCEMENT
N.T.S.

TYPICAL CONCRETE CHAMFER
N.T.S.

TYP. STUD BEARING WALL
N.T.S.

CONNECTION	FASTENING	LOCATION
1) JOIST TO SILL OR GIRDER	(3) 8d COMMON	TOENAIL EA. END
2) BRIDGING TO JOIST	(2) 8d COMMON	TOENAIL
3) 1/8" SUBFLOOR OR LESS TO EACH JOIST	(2) 8d COMMON	FACE NAIL
4) WIDER THAN 1/8" SUBFLOOR TO EACH JOIST	(3) 8d COMMON	FACE NAIL
5) 2" SUBFLOOR TO JOIST OR GIRDER	(2) 16d COMMON	BLIND AND FACE NAIL
6) SOLE PLATE TO JOIST OR BLOCKING	16d AT 18" O.C.	TYPICAL FACE NAIL
7) SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	(3) 16d AT 18" O.C.	BRACED WALL PANELS
8) TOP PLATE TO STUD	(2) 16d COMMON	END NAIL
9) STUD TO SOLE PLATE	(2) 16d COMMON	TOENAIL
10) DOUBLE STUDS	16d AT 24" O.C.	FACE NAIL
11) DOUBLE TOP PLATES	16d AT 18" O.C.	TYPICAL FACE NAIL
12) DOUBLE TOP PLATES	(3) 16d COMMON	LAP SPLICE
13) BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3) 8d COMMON	TOENAIL
14) RM JOIST TO TOP PLATE	8d AT 8"	TOENAIL
15) TOP PLATES, LAPS AND INTERSECTIONS	(2) 16d COMMON	FACE NAIL
16) CONTINUOUS HEADER, TWO PIECES	16d COMMON	18" O.C. ALONG EDGE
17) CEILING JOISTS TO PLATE	(3) 8d COMMON	TOENAIL
18) CONTINUOUS HEADER TO STUD	(4) 8d COMMON	TOENAIL
19) CEILING JOISTS, LAPS OVER PARTITIONS	(3) 16d COMMON MINIMUM	FACE NAIL
20) CEILING JOIST TO PARALLEL RAFTERS	(3) 16d COMMON MINIMUM	FACE NAIL
21) 1" BRACE TO EACH STUD AND PLATE	(2) 8d COMMON	FACE NAIL
22) 1/8" SHEATHING TO EACH BEARING	(3) 8d COMMON	FACE NAIL
23) WIDER THAN 1/8" SHEATHING TO EACH BEARING	(3) 8d COMMON	FACE NAIL
24) BUILT-UP CORNER STUDS	16d COMMON	24" O.C.
25) BUILT-UP GIRDER & BEAMS	26d COMMON AT 32" O.C.	FACE NAIL, TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
26) 2" PLANKS	(2) 16d COMMON	AT EACH BEARING
27) COLLAR TIE TO RAFTER	(3) 16d COMMON	FACE NAIL
28) JACK RAFTER TO HIP	(3) 16d COMMON	TOENAIL
29) JACK RAFTER TO HIP	(3) 16d COMMON	FACE NAIL
30) ROOF RAFTER TO 2x RIDGE BEAM	(3) 16d COMMON	TOENAIL

NAILING SCHEDULE

HOLES AND NOTCHES IN BEAMS, JOISTS AND STUDS
N.T.S.

TYPICAL SHEATHING SPACING & NAILING PATTERN
N.T.S.

NEW DOOR OPENING IN EXISTING WALL
N.T.S.

TYPICAL OPENING FRAMING
NO SCALE

MARK	SHEATHING	NAILING		ANCHOR BOLTS
		EDGES	FIELD	
SW4	1/2" CDX PLYWOOD	10d @ 4" O.C.	10d @ 12" O.C.	1/2" TITEN H.D. SCREW ANCHORS @ 16" O.C. w/ 3" EMBED.

SHEARWALL SCHEDULE*

NOTES:

- PROVIDE BLOCKING AT ALL UNSUPPORTED PANEL EDGES.
- SHEATHING SHALL BE EXP. I EXTERIOR GRADE APA RATED WITH A SPAN RATIO OF 32/16.
- PLYWOOD SHALL BE EDGE NAILED OVER THE FULL HEIGHT AT KING STUDS
- PROVIDE 3"x3"x1/4" PLATE WASHERS AT ALL ANCHOR BOLTS.

* APPLICABLE TO NEW INTERIOR AND EXTERIOR STUD WALLS AS SHOWN.

95% REVIEW SET

**TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395**

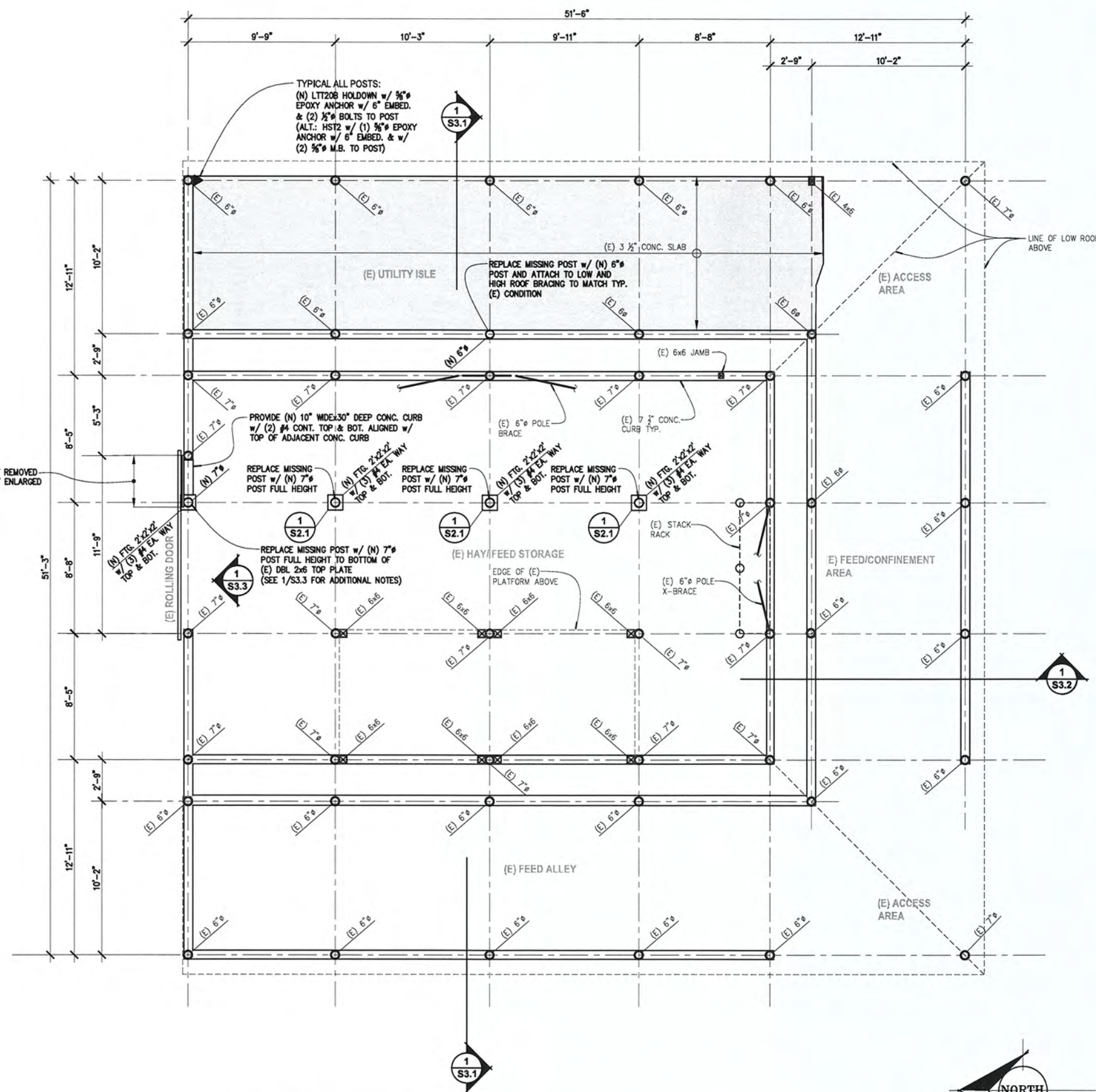
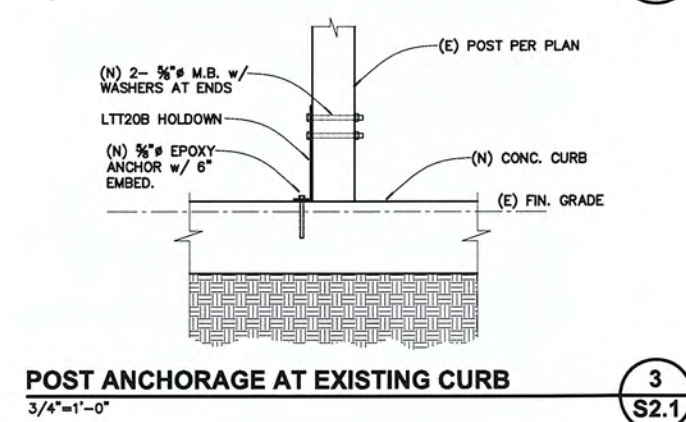
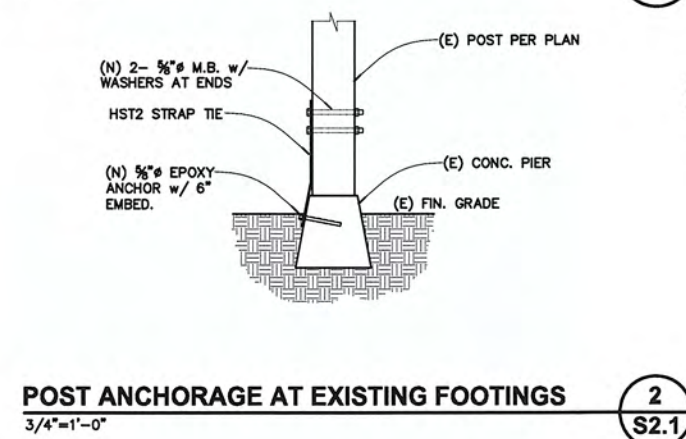
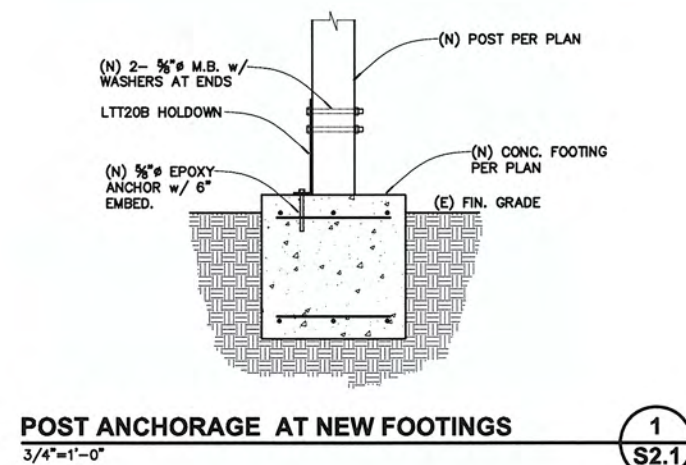
PROJECT:

GROUND LEVEL PLAN

SHEET TITLE:

DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-1
SCALE
AS NOTED
JOB NO.
65-15
SHEET

BARN A
S2.1



FOUNDATION/GROUND LEVEL PLAN

$$\frac{1}{4}'' = 1' - 0''$$

NOTES:

1. DRAWINGS ARE DIAGRAMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE PRECISE LOCATION OR SIZE OF EXISTING FRAMING, WHICH SHALL BE FIELD DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS SO AS TO PROPERLY COORDINATE FOR THE NEW FRAMING REQUIREMENTS OUTLINED IN THESE CONTRACT DOCUMENTS, AND SHALL BRING ANY DISCREPANCY TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, WHO SHALL ISSUE FINAL INSTRUCTIONS FOLLOWING REVIEW.

2. EXISTING DIMENSIONS, WHERE SHOWN, ARE APPROXIMATE AND INTENDED FOR REFERENCE AND COORDINATION ONLY. THE CONTRACTOR SHALL FIELD-VERIFY ALL BUILDING DIMENSIONS AS REQUIRED FOR NEW CONSTRUCTION.

3. SEE FRAMING SECTIONS SHEETS S3.1, S3.2 AND S3.3 FOR ALL ADDITIONAL ROOF INFORMATION.

REVISIONS



HYTTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

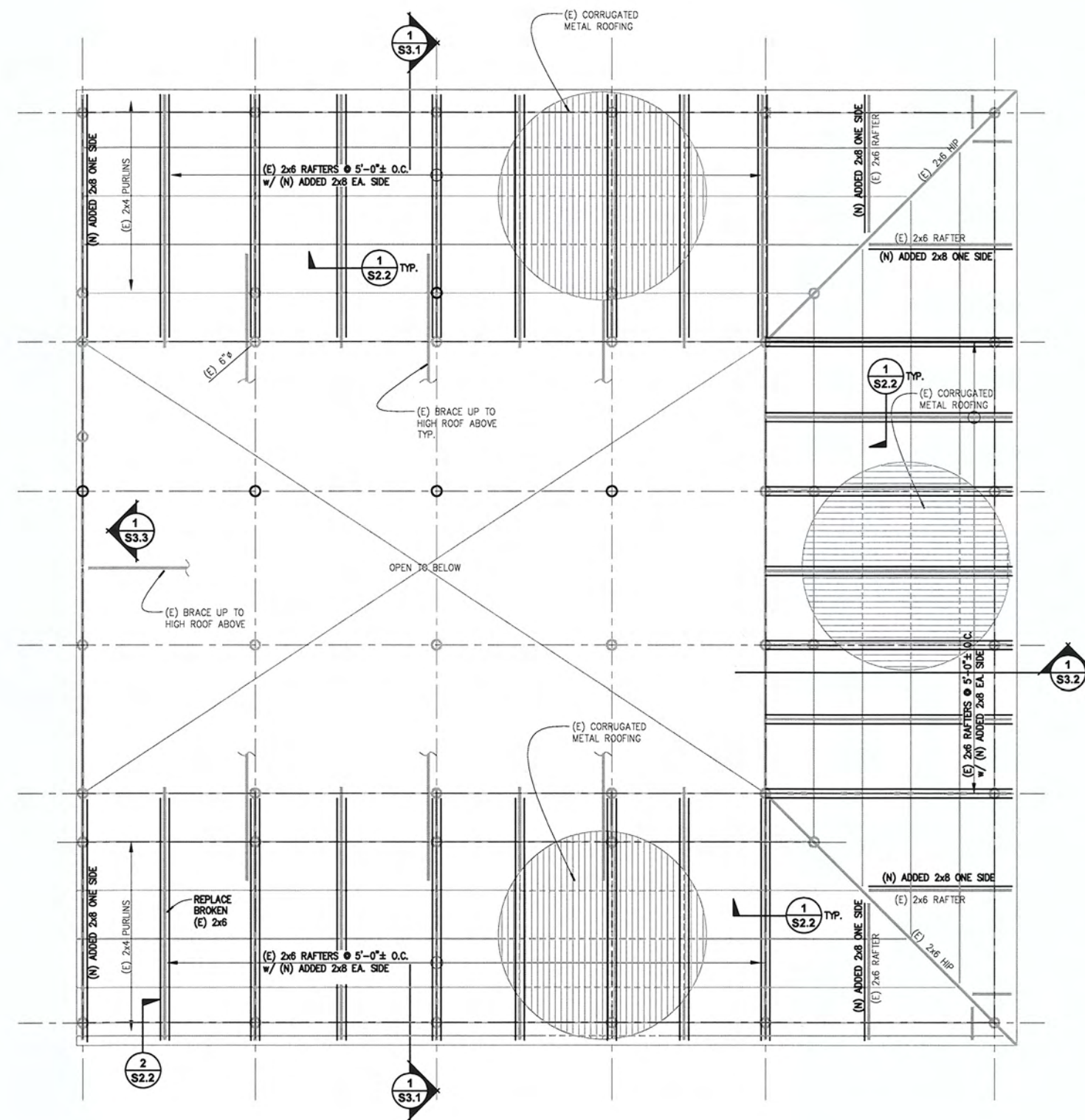
**TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395**

PROJECT:

LE: LOW ROOF FRAMING
PLAN

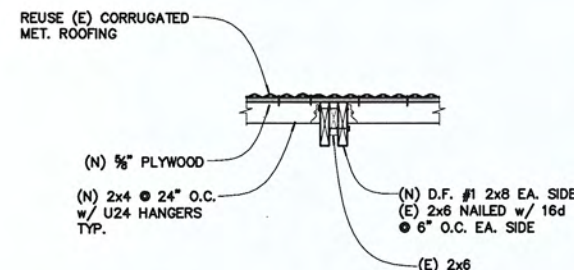
DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

**BARN A
S2.2**

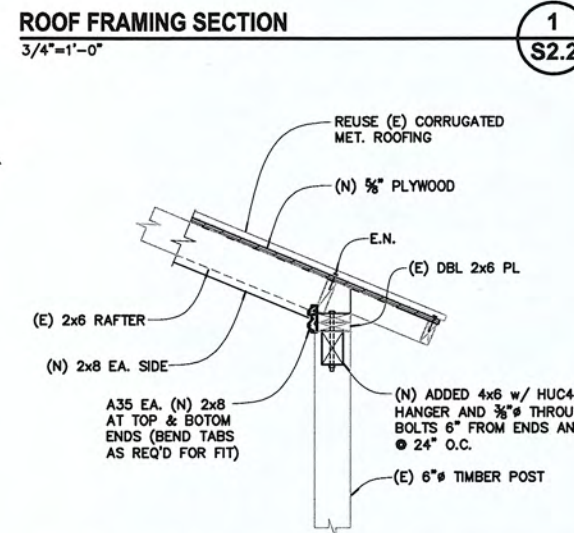


ROOF FRAMING NOTES:

- REMOVE EXISTING CORRUGATED METAL ROOFING AND SALVAGE FOR REUSE.
- REMOVE EXISTING 2x4 FLAT NAILERS, AND REPLACE WITH NEW 2x4 PURLINS (ON EDGE) AT 24" O.C. WITH U24 HANGERS.
- PROVIDE NEW 3/8" PANEL INDEX 4/8" APA RATED EXPOSURE 1 PLYWOOD ROOF SHEATHING NAILED WITH 10d @ 6" O.C. AT PERIMETER, EDGES (E.N.), AND SUPPORTED PANEL EDGES, AND @ 10" O.C. FIELD.
- REPLACE (E) CORRUGATED METAL ROOFING OVER 2 LAYERS OF 15# FELT.



ROOF FRAMING SECTION

$$\overline{3/4'' = 1' - 0''}$$


ROOF FRAMING SECTION

$$\overline{3/4'' = 1' - 0''}$$

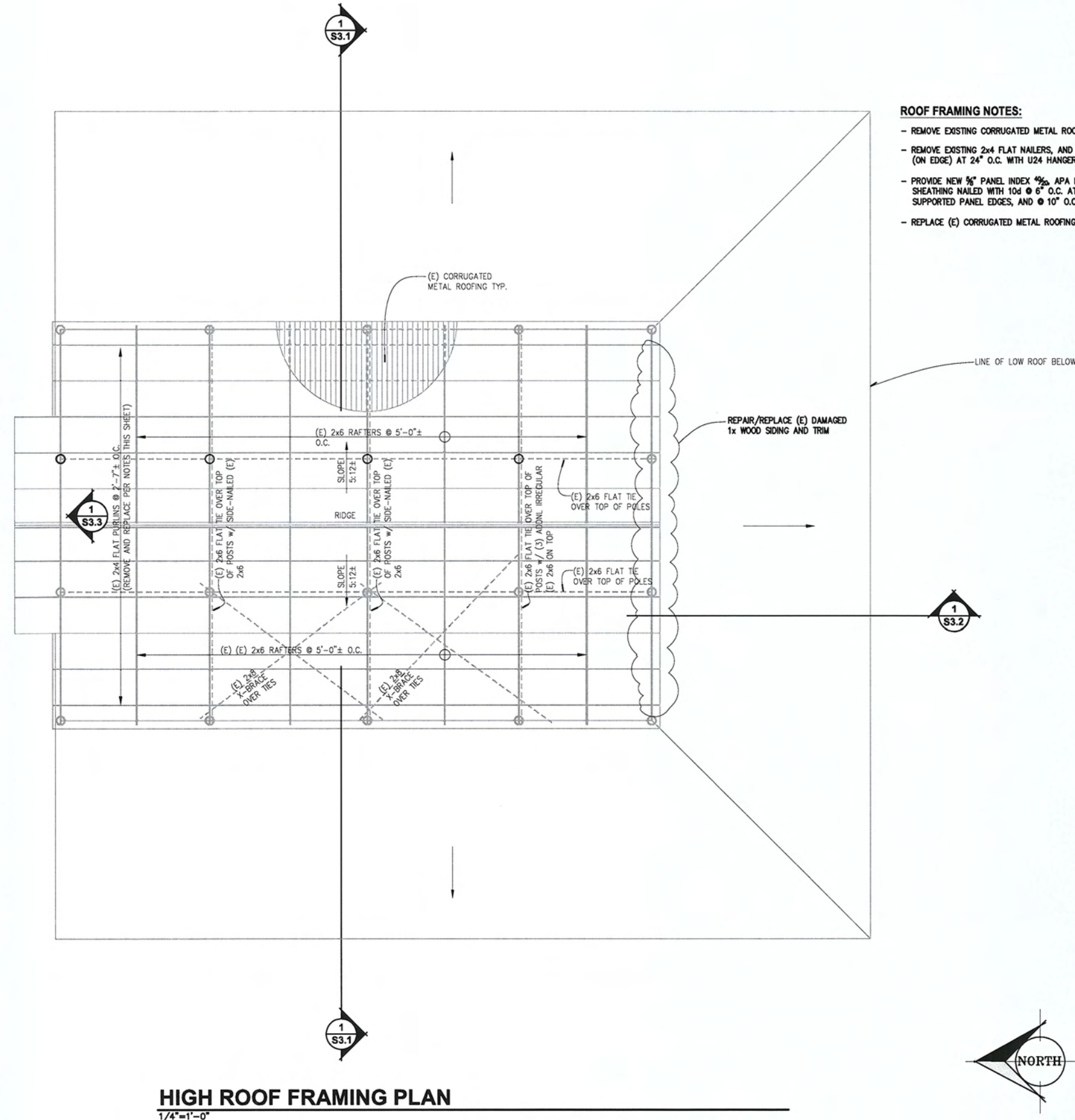

LOW ROOF FRAMING PLAN

$$\overline{1/4^n = 1' - 0^n}$$

NOTES:

1. DRAWINGS ARE DIAGRAMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE PRECISE LOCATION OR SIZE OF EXISTING FRAMING, WHICH SHALL BE FIELD DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS SO AS TO PROPERLY COORDINATE FOR THE NEW FRAMING REQUIREMENTS OUTLINED IN THESE CONTRACT DOCUMENTS, AND SHALL BRING ANY DISCREPANCY TO THE IMMEDIATE ATTENTION OF THE ENGINEER, WHO SHALL ISSUE FINAL INSTRUCTIONS FOLLOWING REVIEW.
2. EXISTING DIMENSIONS, WHERE SHOWN, ARE APPROXIMATE AND INTENDED FOR REFERENCE AND COORDINATION ONLY. THE CONTRACTOR SHALL FIELD-VERIFY ALL BUILDING DIMENSIONS AS REQUIRED FOR NEW CONSTRUCTION.
3. SEE FRAMING SECTIONS SHEETS S3.1, S3.2 AND S3.3 FOR ALL ADDITIONAL ROOF INFORMATION.

BARN A S2.2



- ROOF FRAMING NOTES:**
- REMOVE EXISTING CORRUGATED METAL ROOFING AND SALVAGE FOR REUSE.
 - REMOVE EXISTING 2x4 FLAT NAILERS, AND REPLACE WITH NEW 2x4 PURLINS (ON EDGE) AT 24" O.C. WITH U24 HANGERS.
 - PROVIDE NEW 5/8" PANEL INDEX 40% APA RATED EXPOSURE 1 PLYWOOD ROOF SHEATHING NAILED WITH 10d @ 6" O.C. AT PERIMETER, EDGES (E.N.), AND SUPPORTED PANEL EDGES, AND @ 10" O.C. FIELD.
 - REPLACE (E) CORRUGATED METAL ROOFING OVER 2 LAYERS OF 15# FELT.

HIGH ROOF FRAMING PLAN
1/4"=1'-0"

REVISIONS



HYYTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

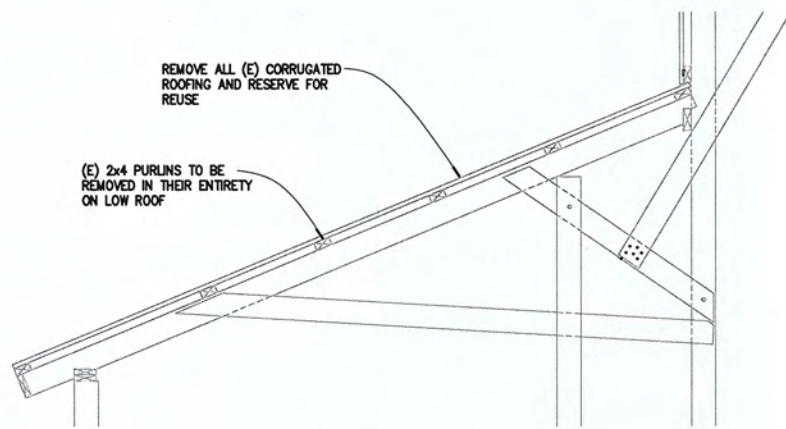
**TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395**

PROJECT:

SHEET TITLE: **HIGH ROOF FRAMING PLAN**

DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

**BARN A
S2.3**



LOW ROOF DEMOLITION

1/2"=1'-0"

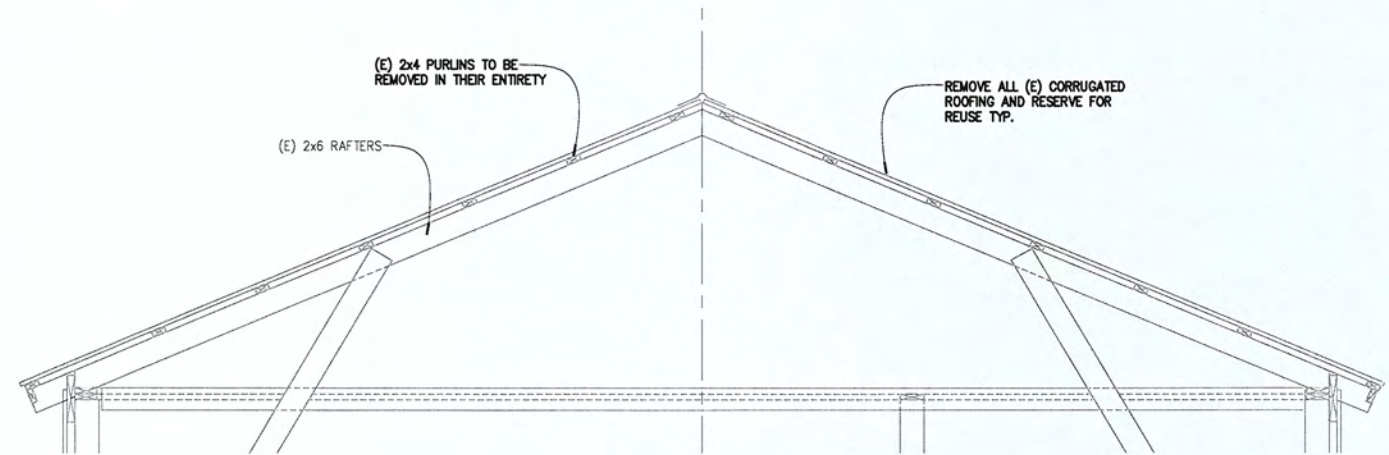
3

S3.1

NOTES:

- SEE ROOF FRAMING NOTES SHEETS S2.2 & S2.3.
- TYPICAL SCREWS SHOWN SHALL BE SDWS/SDWH SCREWS WITH LENGTH AS REQUIRED (USE 3" MINIMUM LENGTH).

NOTE:
SEE 2/S3.1 FOR HIGH ROOF DEMOLITION.

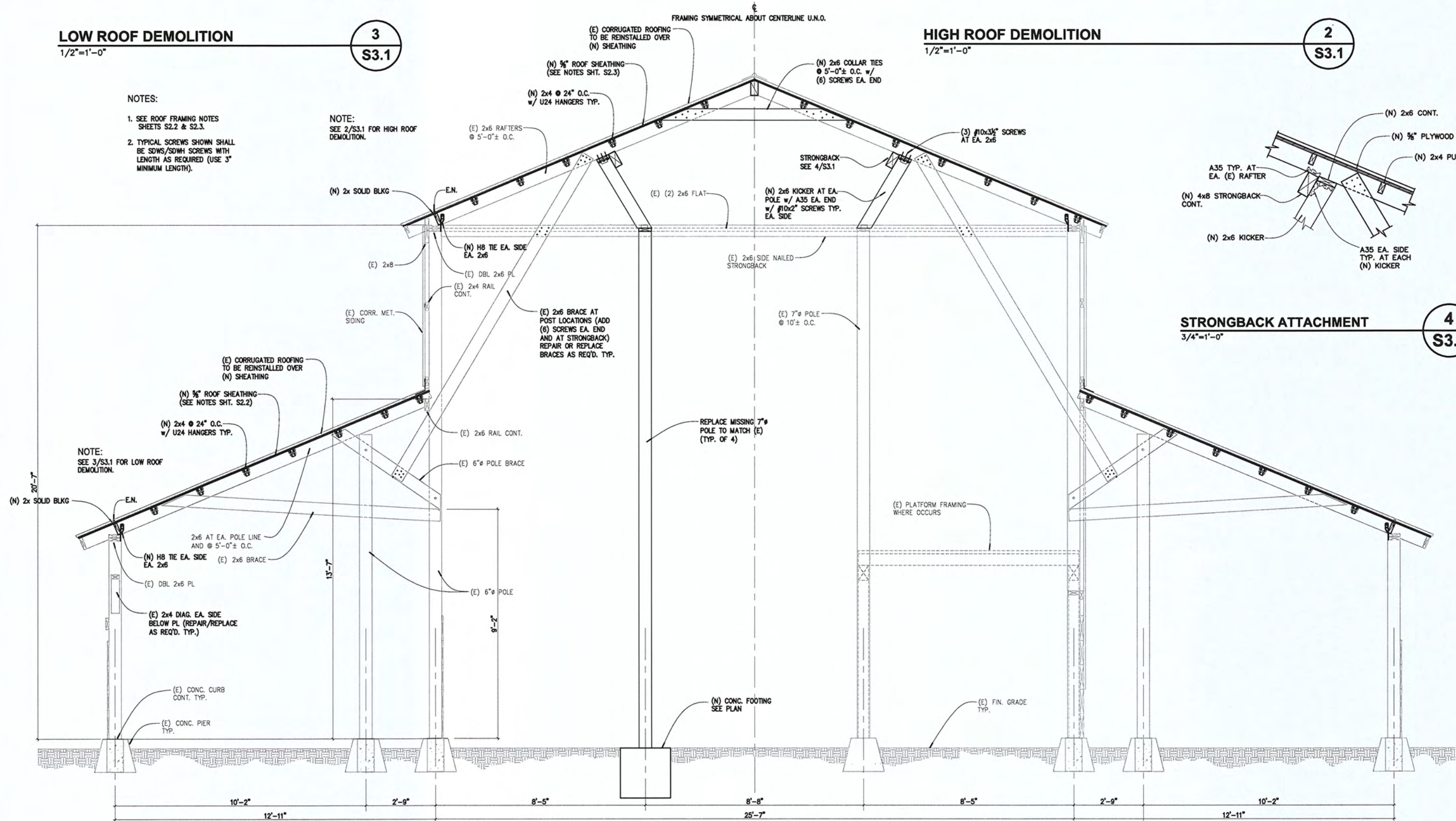


HIGH ROOF DEMOLITION

1/2"=1'-0"

2

S3.1

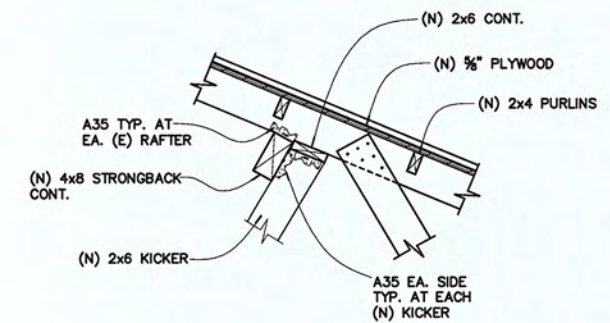


BUILDING SECTION

1/2"=1'-0"

1

S3.1



STRONGBACK ATTACHMENT

3/4"=1'-0"

4

S3.1

REVISIONS



HYYTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

**TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395**

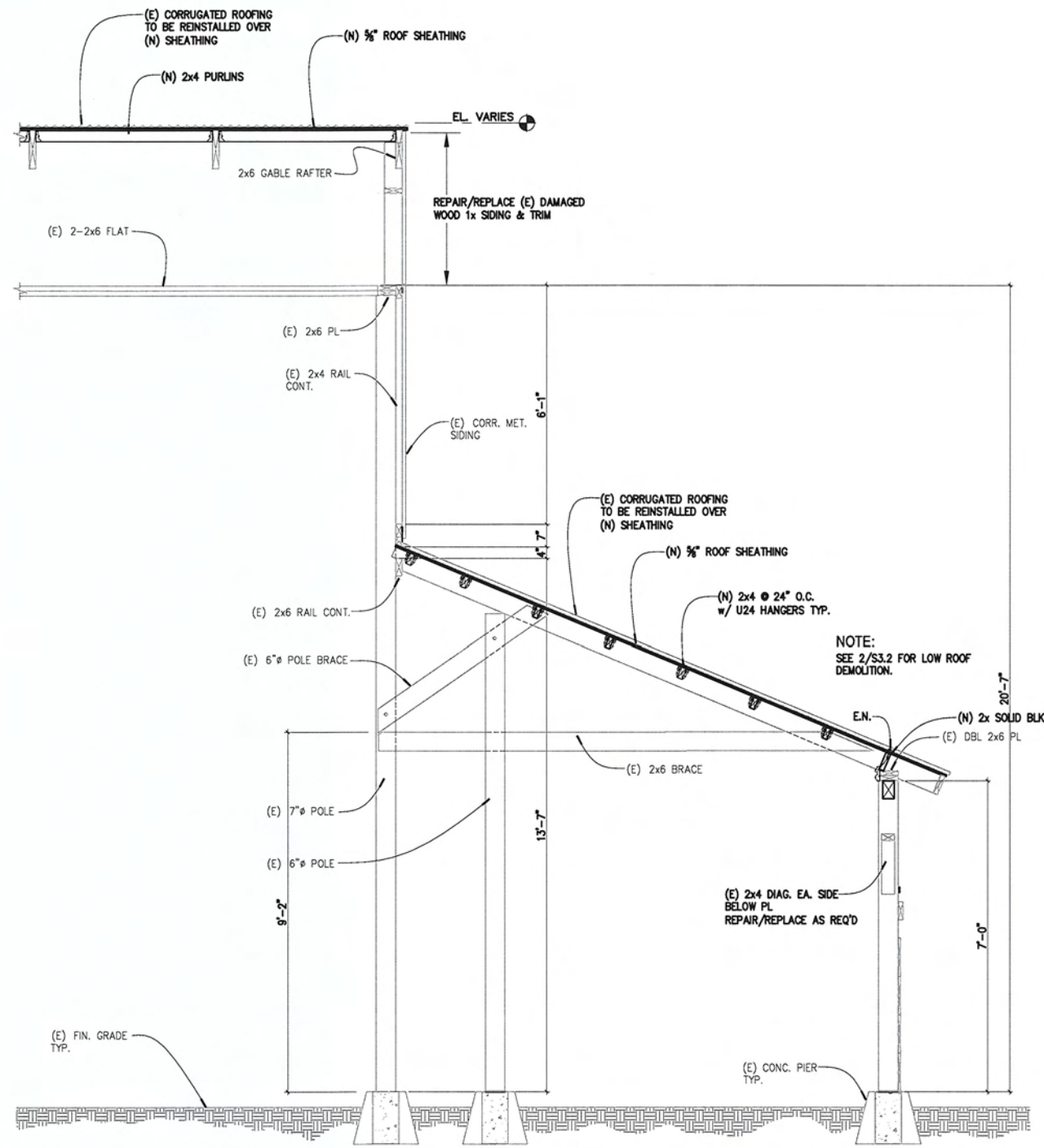
PROJECT:

BUILDING SECTION

SHEET TITLE:

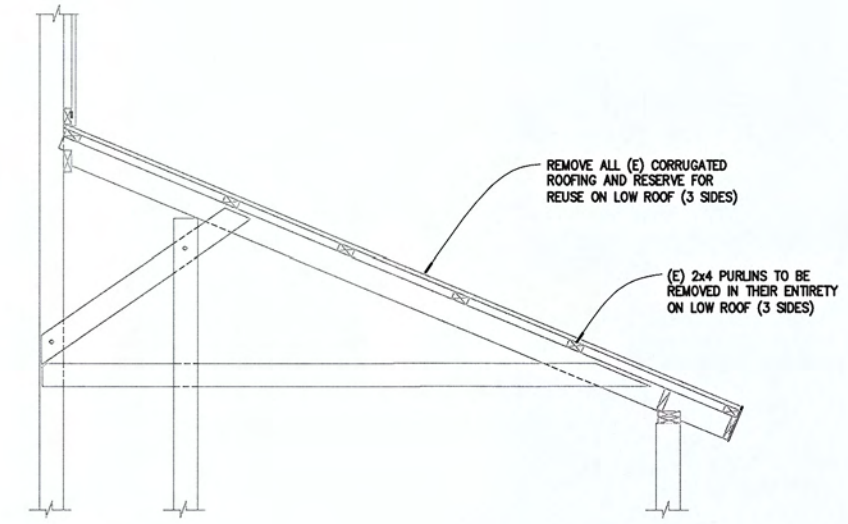
DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

**BARN A
S3.1**



PARTIAL BUILDING SECTION
1/2"=1'-0"

1
S3.2



LOW ROOF DEMOLITION
1/2"=1'-0"

2
S3.2

REVISIONS

H
E

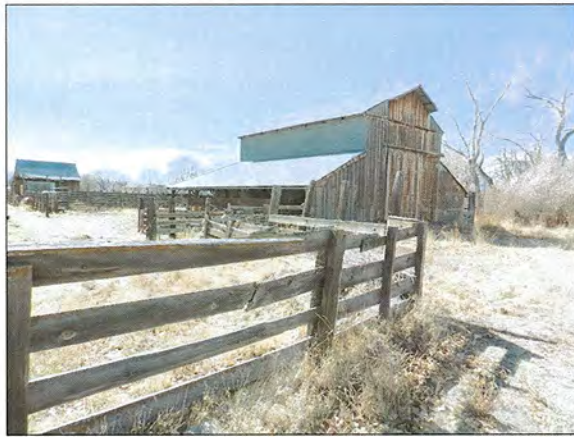
HYTTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

**TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395**

PROJECT:
SHEET TITLE: **PARTIAL BUILDING SECTION**

DRAWN	A.M.
CHECKED	R.H.
DATE	4-19-17
SCALE	AS NOTED
JOB NO.	65-15
SHEET	
BARN A S3.2	



BARN PERSPECTIVE- LOOKING SOUTH-WEST (P1 S4.1)



BARN CENTER- LOOKING SOUTH (P2 S4.1)



BARN CENTER- SOUTH-EAST CORNER (P3 S4.1)



BARN CENTER- SOUTH WALL (P4 S4.1)



BARN CENTER- SOUTH-WEST CORNER (P5 S4.1)



STACK SUPPORT- SOUTH WALL (P6 S4.1)



X-BRACE (P7 S4.1)



BARN CENTER- SOUTH-WEST CORNER (P8 S4.1)



BARN CENTER- NORTH-WEST CORNER (P9 S4.1)



BARN CENTER- LOOKING NORTH (P10 S4.1)



BARN CENTER- LOOKING NORTH (P11 S4.1)



BARN CENTER- NORTH-EAST CORNER (P12 S4.1)



BRACING OVER NORTH WALL DOOR OPNG (P13 S4.1)



LOW/HIGH ROOF TRANSITION- EAST SIDE (P14 S4.1)



HIGH ROOF AT WEST WALL LOOKING SOUTH (P15 S4.1)



HIGH ROOF AT WEST WALL (P16 S4.1)

REVISIONS

HE

HYTTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395

SITE PHOTO IMAGES

DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

BARN A
S4.1



NORTH-EAST CORNER

P1
S4.2



EAST FRAMING LINE

P2
S4.2



EAST FRAMING LINE

P3
S4.2



SOUTH-EAST CORNER

P4
S4.2



SOUTH WALL

P5
S4.2



SOUTH-WEST CORNER

P6
S4.2



WEST WALL

P7
S4.2



NORTH-WEST CORNER

P8
S4.2



SOUTH END CALF FEEDING PENS

P9
S4.2



SOUTH END LOW ROOF

P10
S4.2



SOUTH END LOW ROOF

P11
S4.2



SOUTH-WEST CORNER LOW ROOF

P12
S4.2



SOUTH END CALF FEEDING PENS

P13
S4.2



WEST SIDE FEED ALLEY LOOKING NORTH

P14
S4.2



WEST SIDE FEED ALLEY LOW ROOF

P15
S4.2



SOUTH-EAST CORNER LOW ROOF

P16
S4.2

REVISIONS

H E

HYTTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395

SITE PHOTO IMAGES

DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

BARN A
S4.2



EAST SIDE UTILITY ISLE LOOKING SOUTH (P1 S4.3)



SOUTH-EAST ISLE CORNER (P2 S4.3)



EAST SIDE UTILITY ISLE LOOKING NORTH (P3 S4.3)



EAST SIDE UTILITY ISLE LOOKING NORTH (P4 S4.3)



SOUTH-EAST ISLE CORNER (P5 S4.3)



SOUTH-EAST LOW ROOF HIP (P6 S4.3)



EAST SIDE UTILITY ISLE ROOF TRANSITION (P7 S4.3)



EAST SIDE UTILITY ISLE LOOKING NORTH (P8 S4.3)



SOUTH-EAST EXTERIOR CORNER (P9 S4.3)



SOUTH END (P10 S4.3)



SOUTH-EAST CORNER (P11 S4.3)



SOUTH GABLE-END (P12 S4.3)



SOUTH-WEST CORNER (P13 S4.3)



EXISTING POLE BASE (P14 S4.3)



EXISTING POLE BASE (P15 S4.3)



NORTH FACADE (P16 S4.3)

REVISIONS

H E

HYTTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

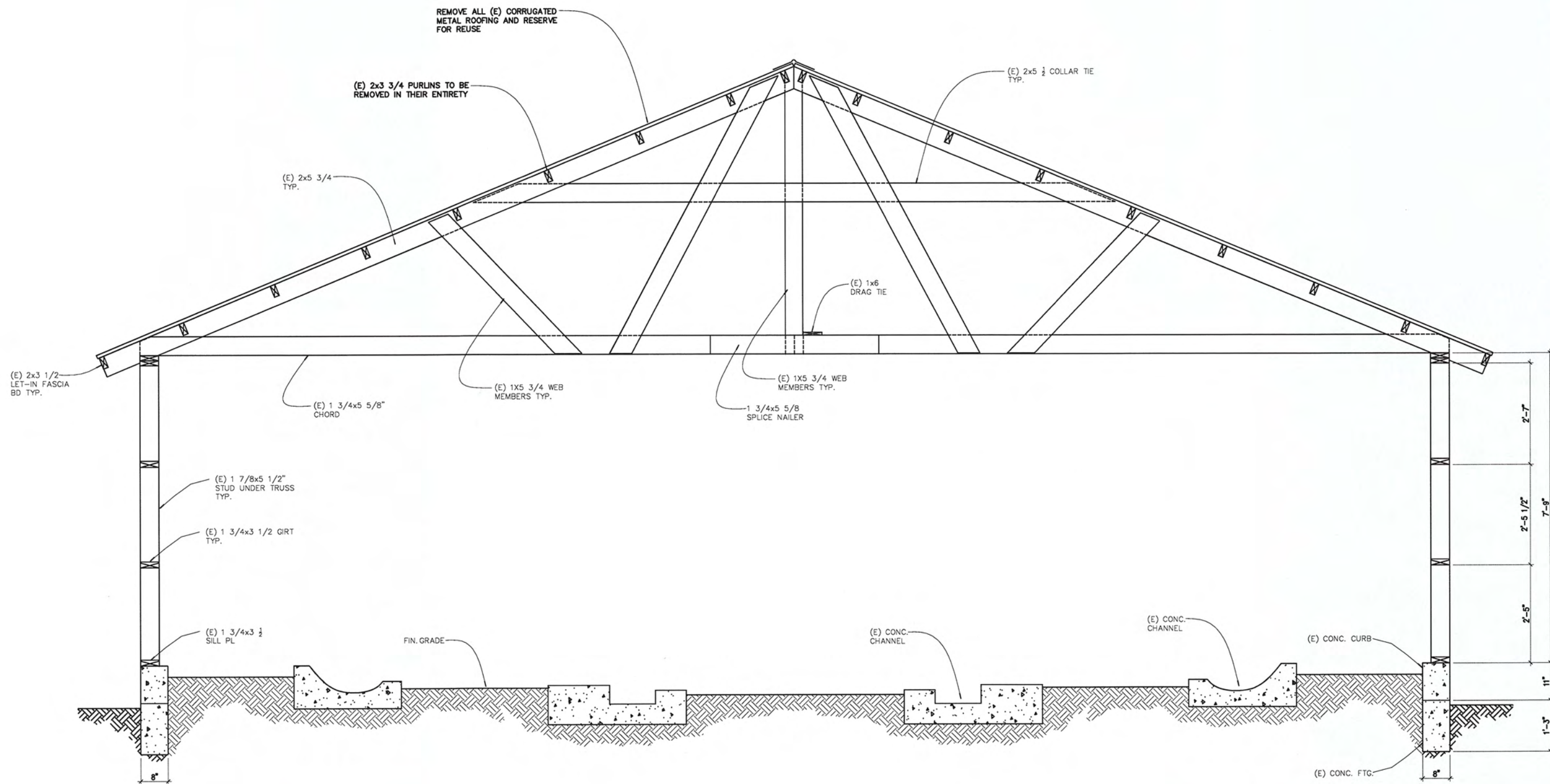
95% REVIEW SET

TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395

SITE PHOTO IMAGES

DRAWN
A.M.
CHECKED
R.H.
DATE
4-19-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

**BARN A
S4.3**



BUILDING SECTION- EXISTING CONDITION
 3/4"=1'-0"

1
 S5.2

REVISIONS



HYYTINEN ENGINEERING LLC
 5458 Longley Lane, Suite B
 Reno, Nevada 89511
 Phone (775) 826-3019
 Fax (775) 826-3076

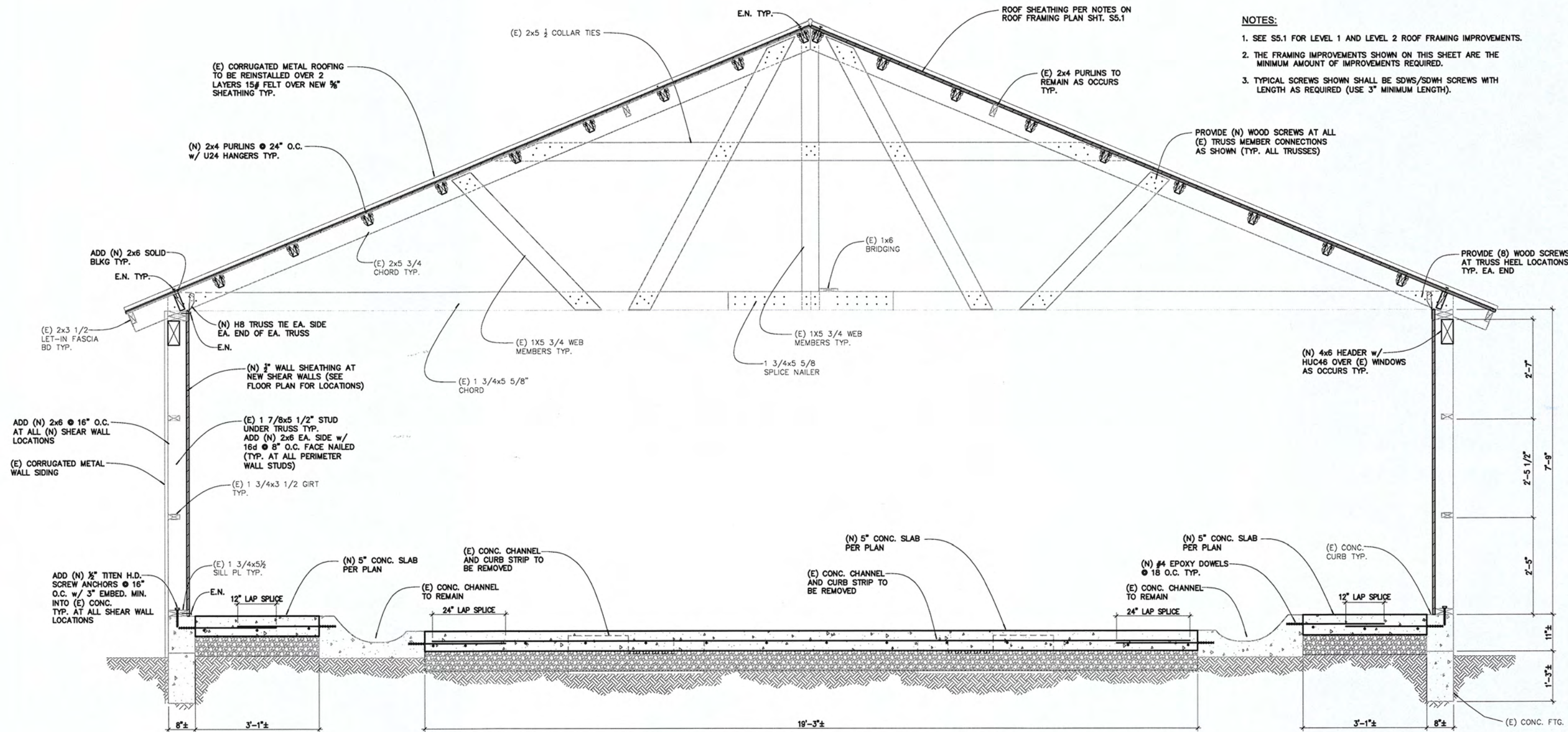
95% REVIEW SET

**TOWN OF GARDNERVILLE
 BARN STRUCTURES
 1381 US HIGHWAY 395**

**BUILDING SECTION-
 EXISTING CONDITION**

DRAWN
 A.M.
 CHECKED
 R.H.
 DATE
 4-19-17
 SCALE
 AS NOTED
 JOB NO.
 65-15
 SHEET

**BARN B
 S5.2**



- NOTES:**
1. SEE S5.1 FOR LEVEL 1 AND LEVEL 2 ROOF FRAMING IMPROVEMENTS.
 2. THE FRAMING IMPROVEMENTS SHOWN ON THIS SHEET ARE THE MINIMUM AMOUNT OF IMPROVEMENTS REQUIRED.
 3. TYPICAL SCREWS SHOWN SHALL BE SDWS/SDWH SCREWS WITH LENGTH AS REQUIRED (USE 3" MINIMUM LENGTH).

BUILDING SECTION (LEVEL ONE FRAMING IMPROVEMENTS)
3/4"=1'-0"

1
S5.3

REVISIONS



HYYTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

**TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395**

**BUILDING SECTION-
IMPROVEMENTS**

DRAWN
A.M.
CHECKED
R.H.
DATE
4-18-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

**BARN B
S5.3**



NORTH ENTRANCE

P1
S6.1



INTERIOR VIEW LOOKING SOUTH

P2
S6.1



INTERIOR VIEW LOOKING SOUTH

P3
S6.1



TYPICAL TRUSS OVER STUD

P4
S6.1



NORTH-WEST CORNER

P5
S6.1



WEST WALL- LOOKING SOUTH

P6
S6.1



SOUTH-WEST CORNER

P7
S6.1



SOUTH-EAST CORNER

P8
S6.1



SOUTH-EAST CORNER

P9
S6.1



NORTH-EAST CORNER

P10
S6.1



NORTH-WEST CORNER

P11
S6.1



TYPICAL SILL PLATE

P12
S6.1



NORTH DOOR JAMB

P13
S6.1



NORTH-WEST CORNER

P14
S6.1



SOUTH-EAST CORNER

P15
S6.1



SOUTH-WEST CORNER

P16
S6.1

REVISIONS

H E

HYTTINEN ENGINEERING LLC
5458 Longley Lane, Suite B
Reno, Nevada 89511
Phone (775) 826-3019
Fax (775) 826-3076

95% REVIEW SET

TOWN OF GARDNERVILLE
BARN STRUCTURES
1381 US HIGHWAY 395

SITE PHOTO IMAGES

DRAWN
A.M.
CHECKED
R.H.
DATE
4-18-17
SCALE
AS NOTED
JOB NO.
65-15
SHEET

BARN B
S6.1