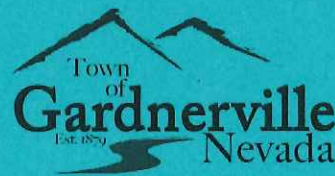


Gardnerville Town Board

AGENDA ACTION SHEET



1. **For Possible Action:** Discussion to approve, approve with modifications, or deny the request from RO Anderson to accept maintenance of a portion of SIP 0057 for the extension of storm drain, including storm drainage manhole and outlet pipe, riparian pad, within Heybourne Road right-of-way of Phase 2E of the Ranch at Gardnerville, recently renamed Heybourne Meadows, Phase 2E; Appearance by Rob Anderson, RO Anderson; with public comment prior to board action.
2. **Recommended Motion:** Conditionally accept the maintenance of a portion of SIP 0057 for extension of Heybourne Road, with accompanying improvements for the town's drainage system, and future stub for a phase 3 cul de sac, outlet pipe and riparian pad into the town's open space within county's road right-of-way of Phase 2E of the Ranch at Gardnerville

Funds Available: ☐ Yes ☒ N/A (No cost at this time)

3. **Department:** Administration
4. **Prepared by:** Tom Dallaire
5. **Meeting Date:** June 5, 2018 **Time Requested:** 10 minutes
6. **Agenda:** ☐ Consent ☒ Administrative

Background Information: The Ranch at Gardnerville Phase 2E was approved to be constructed in February 2015. RO Anderson Engineering and the contractor have fixed the punch list items to the satisfaction of town staff. Town staff finds the town specific improvements ready for acceptance, the storm drainage system only. This only conveys town street water through the county road. We have record drawings of this phase. This is the last phase currently approved to be constructed. The next phases will be the series of Phase 3 phases and will reach the limit of the project within Gardnerville at the northerly boundary of Zerolene. The trail amenities will be bonded and constructed once the homes are completed. This is similar to the area the town owns between Phase 2c and Phase 1.

7. **Other Agency Review of Action:** ☐ Douglas County ☒ N/A
8. **Board Action:**
☐ Approved ☐ Approved with Modifications
☐ Denied ☐ Continued

The conditions recommended by staff for the Phase 2E final phase of phase 2 are as follows;

- 1. Side slopes of parcels into the wetland area should be 5:1 max, match existing parcels slope that is maintainable into the future. The current side slope is too steep and not per code that was installed this phase and in a portion of phase 2c. The existing slope into the wetland is max 1:1 (estimated)**
- 2. The engineer of record is determining if the outlet should be concrete, similar to the rest of them or HDPE as installed.**
- 3. Both path area improvements need to be completed after the homes are complete.**
- 4. The actual stub length shown for the storm drain stub to extend to phase 3 improvements does not appear to match the record drawings.**
- 5. The debris and field fence for these phases of construction need to have all trash and construction fencing removed from the sloped area and within the town's open space parcel, pertaining to phases 2C-2E.**





Debris & trash from project needs to be removed.





Good Slope to Match



slope varies on this parcel and gets steeper on north side

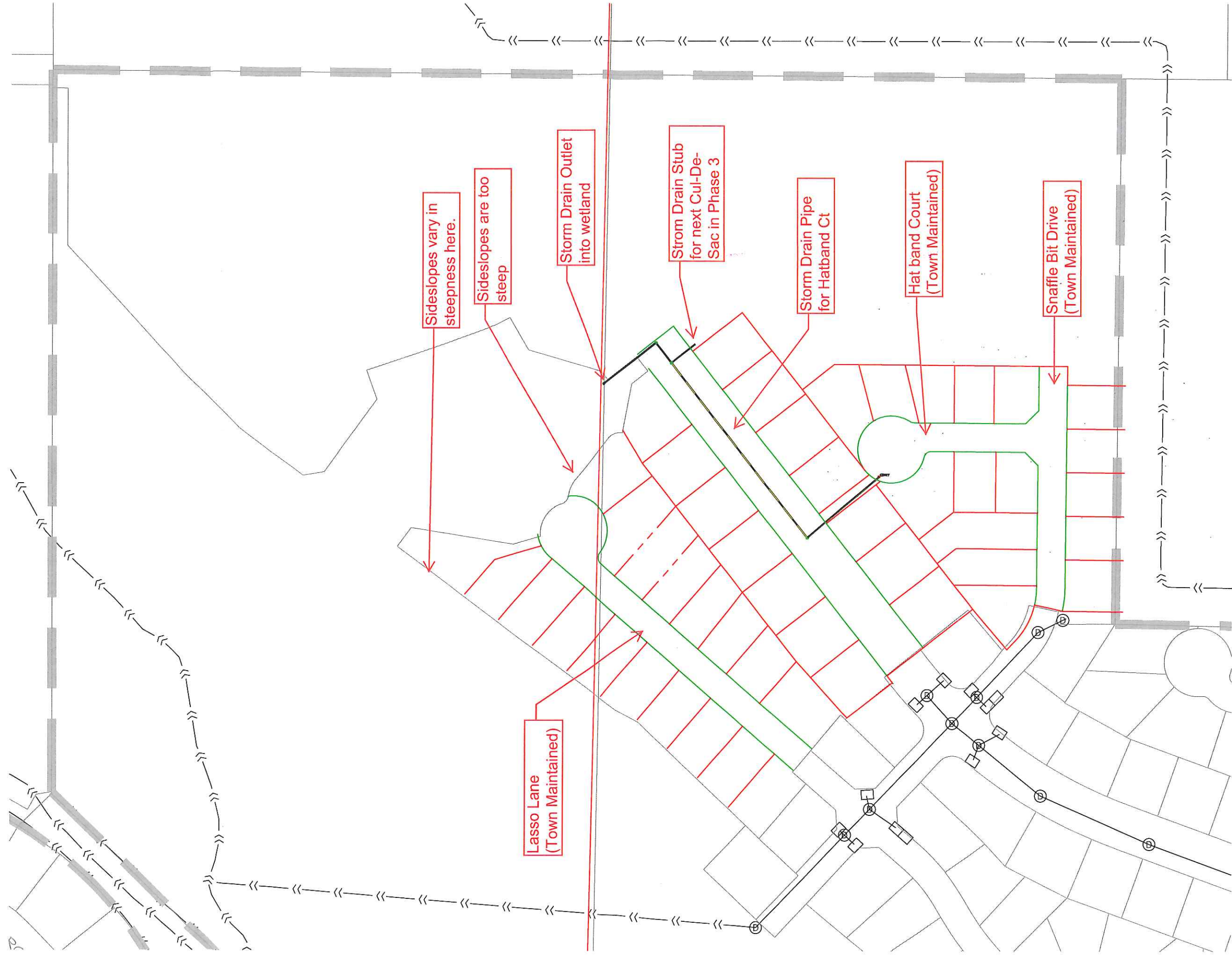


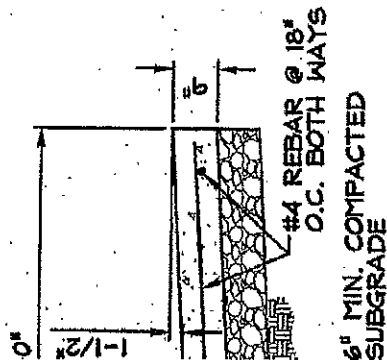
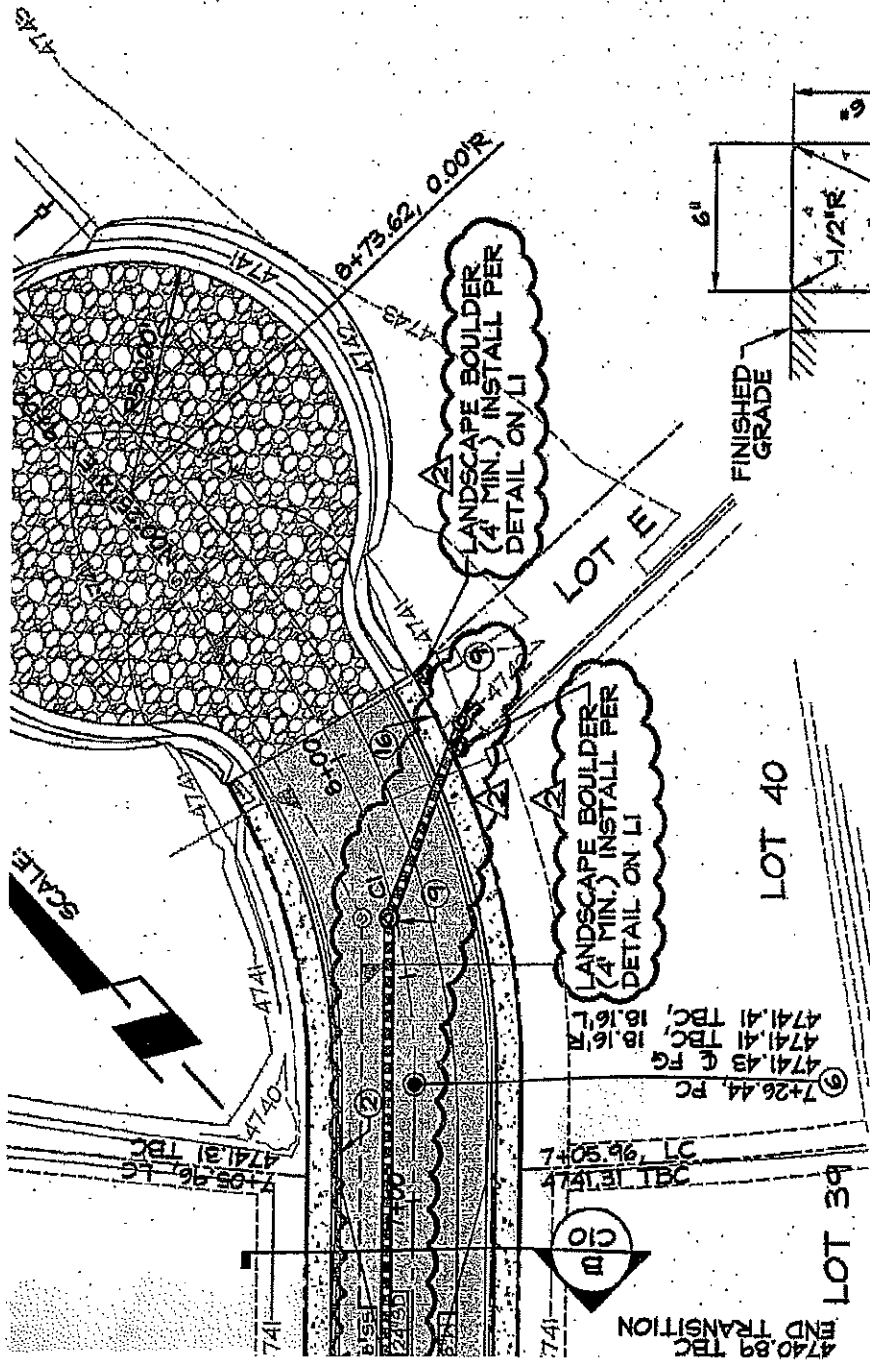
Lot 148 side slope to Heybourne Road are too steep to maintain. We discussed this being pulled out into the open space more. There is a 15'+ slope easements and this seems too steep to me.



Path at Phase 2C home is almost complete and grading, fence and bollards need to be installed.

Path between Hatband Ct and Heybourne will need to be complete once the homes are constructed.





6" MIN. COMPACTED SUBGRADE

NOTES:

1. PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 202 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS. CONSTRUCTION FOR CONCRETE EXPOSED TO FREEZE-THAW ENVIRONMENTS.
2. WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED EVERY 10 FEET. THE JOINTS SHALL PENETRATE TO A DEPTH OF 2 INCHES AND BE CONSTRUCTED IN CONFORMANCE WITH SECTION 312.04.02 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXPANSION JOINTS SHALL BE CONSTRUCTED AT LOCATIONS DESIGNATED IN SECTION 312.04.01A OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
4. TYPE 2, CLASS B AGGREGATE BASE SHALL CONFORM TO SECTION 200 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, AND SHALL BE MECHANICALLY COMPACTED IN THE MAXIMUM LIMIT SECTION.

10-1

NOTES:

1. STORM DRAIN PIPE STRUCTURE TO CENTER
2. EXISTING UTILITIES AND CONTRACTOR'S ACTUAL LOCATION REPORT ANY DISCREPANCY FOR RESURFACING
3. EXISTING AND PROPOSED ADJUSTED TO FINAL
4. POUR NEW PCC COLLARS, AND EXISTING ADJUSTED IN ACCORDANCE WITH CONSTRUCTION DETAILS

CONSTRUCTION

- 1—TYPE 1 P.C.C. CURB AND
- 2—TYPE 2 P.C.C. CURB AND
- 3—TYPE A CURB RAMP PER
- 4—DECORATIVE STAMPED CONCRETE
- 5—END OF ROADWAY BARRICADE
- 6—MONUMENT PER DETAIL D
- 7—TYPE 1A CURB INLET PER
- 8—DOUBLE CATCH BASIN PER
- 9—STANDARD MANHOLE PER
- 10—P.C.C. VALLEY GUTTER PER
- 11—SINGLE METER PIT, INSTALLED
- 12—RELOCATED FIRE HYDRANT
- 13—SEWER LATERAL PER MGD
- 14—3' P.C.C. VALLEY GUTTER
- 15—6" P.C.C. CURB PER DETAIL
- 16—REMOVABLE BOLLARD PER

1/4" = 1'-0"

DETECTABLE

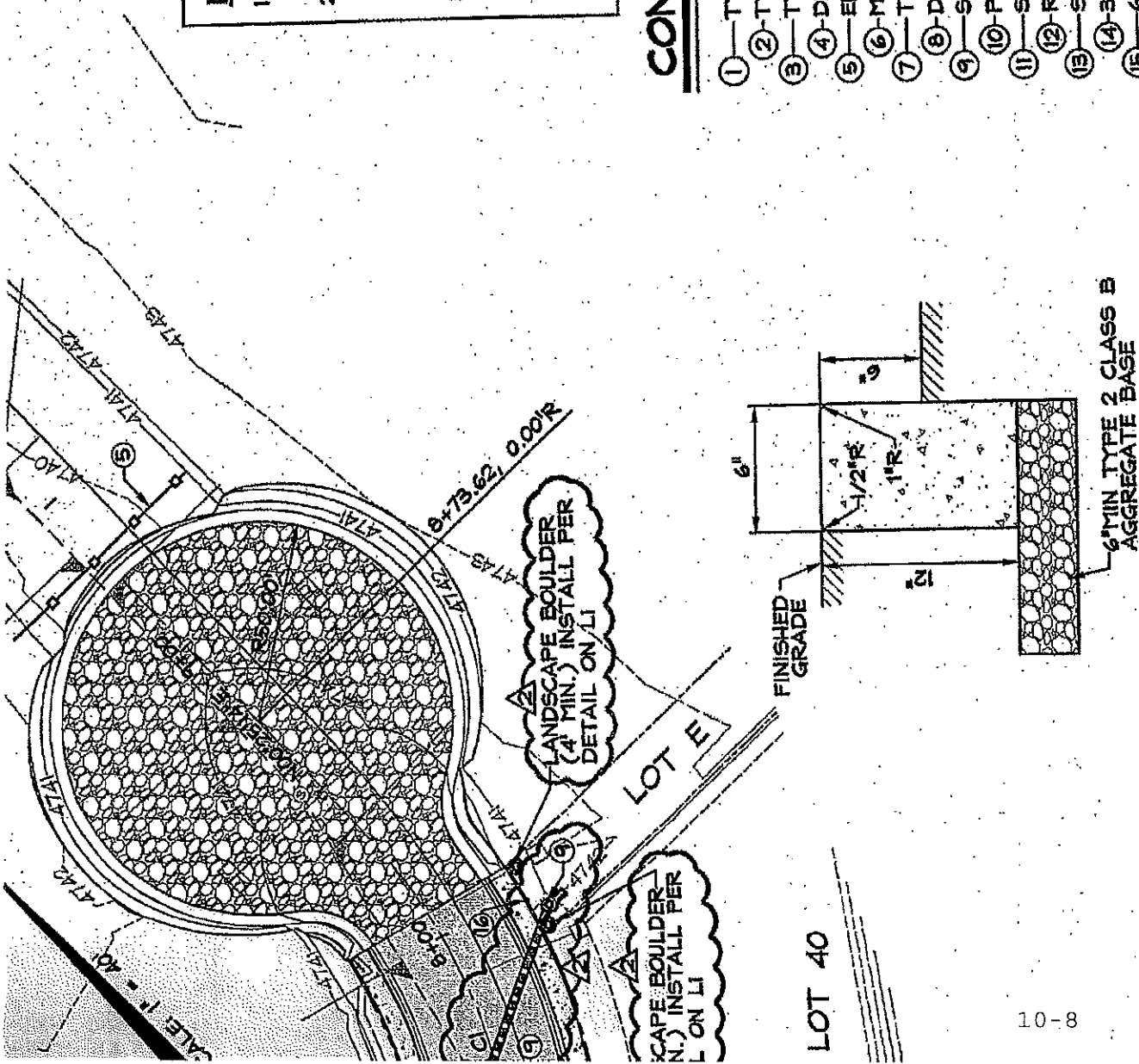
CURVE TABLE		
NUMBER	DELTA	RADIUS
C1	43°03'15"	150.00'
		LENGTH
		112.72'

NOTES:

1. STORM DRAIN PIPE LENGTHS ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
2. EXISTING UTILITIES ARE SHOWN AS APPROXIMATE AND CONTRACTOR SHALL POTHOLE AND VERIFIED ACTUAL LOCATION PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES AND CONFLICTS TO ENGINEER FOR RESOLUTION.
3. EXISTING AND PROPOSED UTILITIES SHALL BE ADJUSTED TO FINAL GRADE.
4. POUR NEW PCC COLLAR FOR NEW UTILITY LIDS, COVERS, AND EXISTING UTILITIES THAT HAVE BEEN ADJUSTED IN ACCORDANCE WITH CORRESPONDING CONSTRUCTION DETAIL.

CONSTRUCTION NOTES

- ①—TYPE 1 P.C.C. CURB AND GUTTER PER DETAIL DC A12 ON C10.
- ②—TYPE 2 P.C.C. CURB AND GUTTER PER DETAIL 1 ON C10.
- ③—TYPE A CURB RAMP PER NDOT DETAIL R-5.2.1 ON C10.
- ④—DECORATIVE STAMPED CONCRETE PER DETAIL 1 ON C9.
- ⑤—END OF ROADWAY BARRICADE PER DETAIL 3 ON C10.
- ⑥—MONUMENT PER DETAIL DC A23 ON C10.
- ⑦—TYPE 1A CURB INLET PER DETAIL DC D03 ON C11.
- ⑧—DOUBLE CATCH BASIN PER DETAIL 1 ON C11.
- ⑨—STANDARD MANHOLE PER MGS D DETAIL 1 ON C11.
- ⑩—P.C.C. VALLEY GUTTER PER DETAIL DC A17 ON C6.
- ⑪—SINGLE METER PIT. INSTALL PER DETAIL T.O.M. - 8.15 OF
- ⑫—RELOCATED FIRE HYDRANT PER DETAIL T.O.M. - 8.12 ON
- ⑬—SEWER LATERAL PER MGS D DETAIL D ON C11.
- ⑭—3" P.C.C. VALLEY GUTTER PER DETAIL 2 ON THIS SHEET.
- ⑮—6" P.C.C. CURB PER DETAIL 3 ON THIS SHEET
- ⑯—REMOVABLE BOLLARD PER DETAIL ON C13.

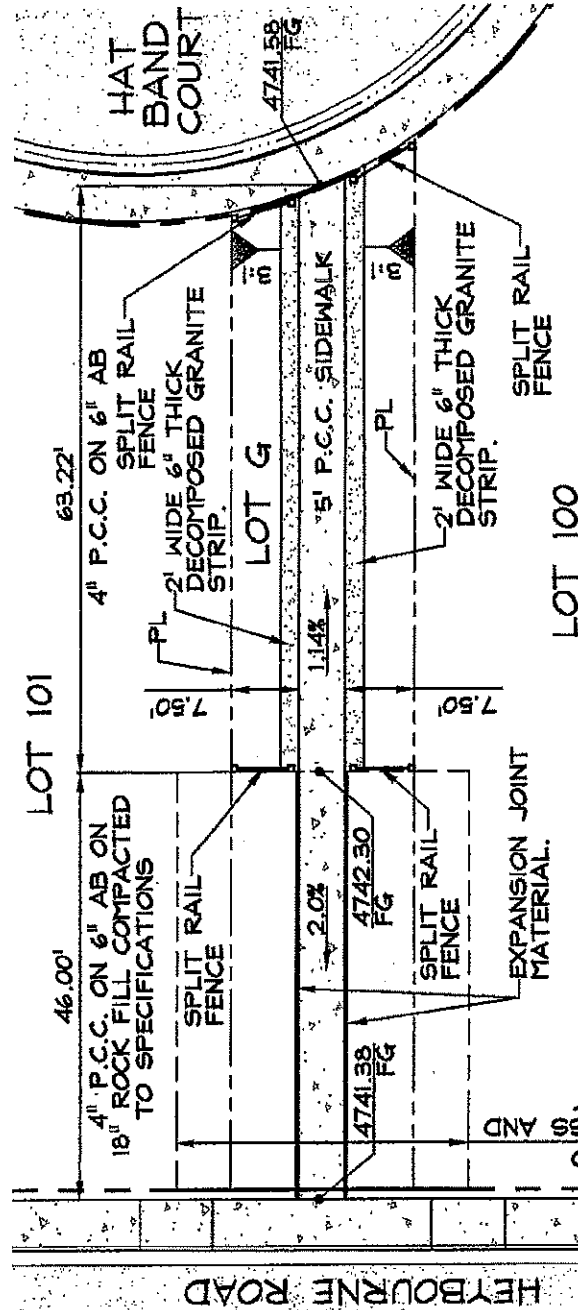


NOTES:

1. PORTLAND CEMENT CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 202 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS. CONSTRUCTION FOR CONCRETE EXPOSED TO FREEZE-THAW ENVIRONMENTS.
2. WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED EVERY 10 FEET. THE JOINTS SHALL PENETRATE TO A DEPTH OF 2 INCHES AND BE CONSTRUCTED IN ACCORDANCE WITH SECTION 312.09.02 OF THE STANDARD

DRIVEWAY APRON DETAIL

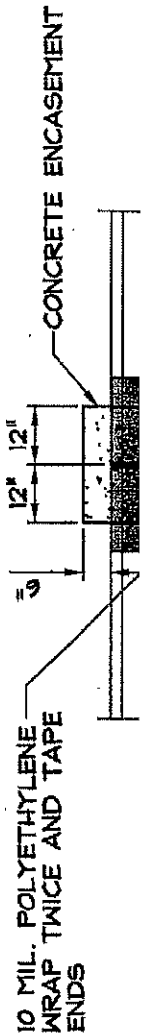
SCALE: 1" = 10'



LOT G DETAIL

SCALE: 1" = 20'

- NOTES:**
1. CONTRACTOR TO DAYLIGHT PATH AT THE PROPERTY LINE OF LOTS 100 AND 101.
 2. CONTRACTOR TO ENSURE A MINIMUM OF A 6' CLEAR OPENING IN THE SPLIT RAIL FENCE AT SIDEWALK.



10-9

NO INFORMATION
IS NOTED

