

472 Meadowland Drive, Unit #5
South Burlington, VT 05403

Phone:
1-800-655-7311

Website:
www.projectgraphics.com

1404 Carson Valley Visitors Authority

(TBD); Banner: 28x60; Single Ply Sunbrella; 1-Design; Screen Printed 1-Ink Colors; 2-Sides; 3.5" Pockets top & bottom; 2-Grommets



Customer Approval: _____

Date: _____

Please sign and fax to
1-866-794-1489

Colors Specified

White

Upon request Project Graphics can match to Pantone Matching System colors specified by customer and/or customer supplied sample prints. If color samples and/or PMS numbers are not provided, your job will print without color matching. The colors you see on your screen and print on your printer may not represent final output. Please consult your Project Manager for further details.

Substrate Specified

Sunbrella Pacific Blue PMS 301c

Printing Technique: Silkscreen

Art Approval Prepared by:

Cem (Jem) Kolukisa
cem@projectgraphics.com
1-802-488-8951

Required to start production

- Signed customer approval
- Signed quote
- Deposit

Customer Notes:

Please use this area for special instructions, shipping addresses or scheduled installation dates that are critical for this order.

Shipping Address:

A.J. Frels
1477 US Hwy. 395 N. Ste. C
Gardnerville, NV 89410 US

Shipping Method: Ground

Please note: 3.5" pockets specified for this order will allow up to 1" diameter pole arms. It is your responsibility to ensure that your pole arms does not exceed this limit.

Please specify your hardware type below:

- I have hardware with fixed arms I have hardware with adjustable arms

Item 849

472 Meadowland Drive, Unit #5 Phone: Website:
South Burlington, VT 05403 1-800-655-7311 www.projectgraphics.com

1404 Carson Valley Visitors Authority
(TBD); Banner: 28x60; Single Ply Sunbrella; 1-Design; Screen Printed 1-Ink Colors; 2-Sides;
3.5" Pockets top & bottom; 2-Grommets

Customer
Approval: _____

Date: _____

Please sign and fax to
1-866-794-1489

Colors Specified

White

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Substrate Specified

Sunbrella Burgundy PMS 505c

Printing Technique: Silkscreen

Art Approval Prepared by:

Cem (Jem) Kolukisa
cem@projectgraphics.com
1-802-488-8951

Required to start production

- Signed customer approval
- Signed quote
- Deposit

Customer Notes:

Please use this area for special instructions, shipping addresses or scheduled installation dates that are critical for this order.

Shipping Address:

A.J. Frels
1477 US Hwy. 395 N. Ste. C
Gardnerville, NV 89410 US
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Please specify your hardware type below:

- I have hardware with fixed arms I have hardware with adjustable arms

Item 849

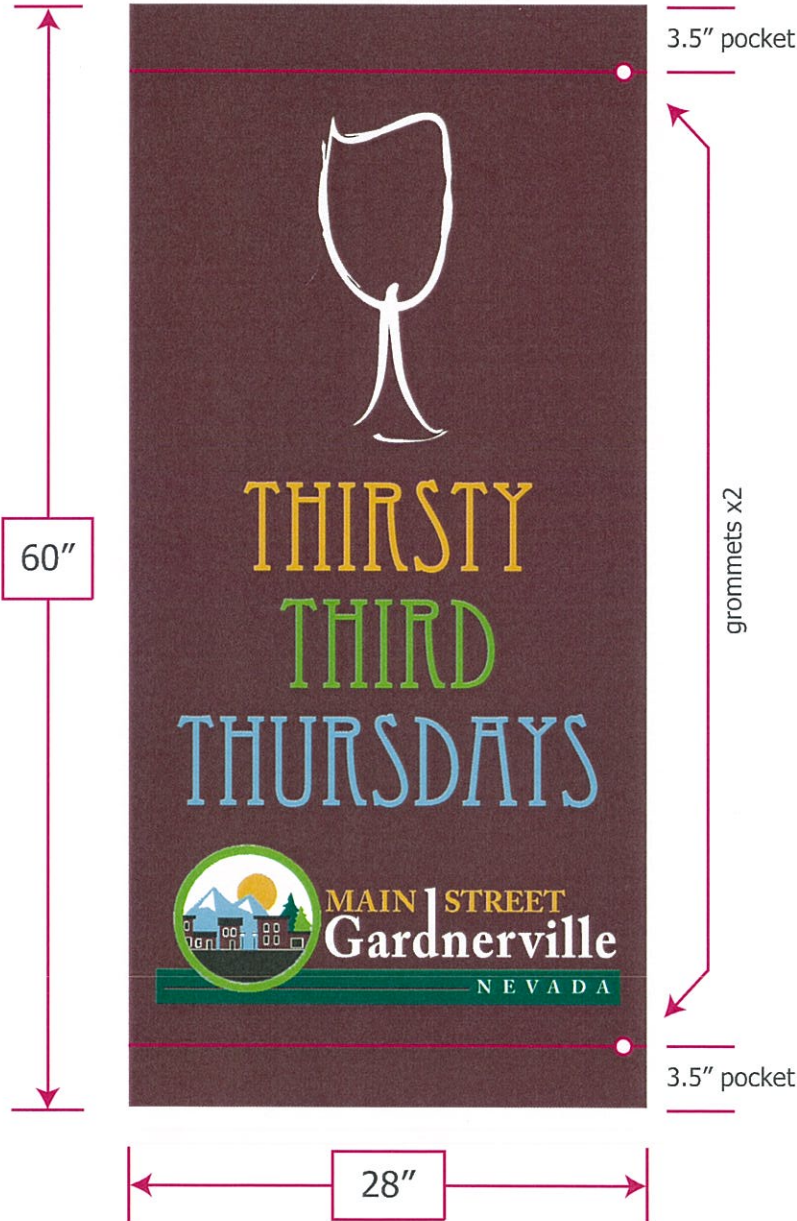
472 Meadowland Drive, Unit #5
South Burlington, VT 05403

Phone:
1-800-655-7311

Website:
www.projectgraphics.com

1404 Carson Valley Visitors Authority

(TBD); Banner: 28x60; Single Ply Sunbrella; 1-Design; Screen Printed 6-Ink Colors; 2-Sides; 3.5" Pockets top & bottom; 2-Grommets



Customer Approval: _____

Date: _____

Please sign and fax to
1-866-794-1489

Colors Specified

- Black
- White
- PMS 297c Light Blue
- PMS 100c Red
- PMS 375c Lime Green
- PMS 123c Yellow

Upon request Project Graphics can match to Pantone Matching System colors specified by customer and/or customer supplied sample prints. If color samples and/or PMS numbers are not provided, your job will print without color matching. The colors you see on your screen and print on your printer may not represent final output. Please consult your Project Manager for further details.

Substrate Specified

- Sunbrella Burgundy PMS 505c

Printing Technique: Silkscreen

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- I have hardware with fixed arms I have hardware with adjustable arms

Item R d 9

October 7, 2014

Attn: Lucille Rao
Junior Planner
Douglas County Community Development
1594 Esmeralda Avenue
PO Box 218
Minden, NV 89423

Re: DA 14-053 Special Use Permit – APN's 1220-03-310-001 & 1220-03-301-001 - Grand Prix Car wash was expanding the existing business and operation to include 2 RV Wash bays and a single indoor dog wash bay. The request is being made on Neighborhood Commercial zoned property, located within the town of Gardnerville.

The town board has heard the application at the October 7, 2014 board meeting and they have _____ the application with the following comments and conditions:

1. Circulation would be greatly improved if, at a future date, the proposed addition is connected to the existing Eldges Ave and Highway 395 intersection. Maybe the property owners can partner with each other in order to comply with NDOT requirements of providing a traffic study for the proposed development, in order to add the additional access at a later date.
2. Consider providing landscaping screening between the site and the proposed vacuum bays. This screen is not a county code requirement but should be provided between the proposed site and the existing residential dwelling located on the remaining Neighborhood Commercial zoned property.
3. The proposed project is leaving an odd shaped and sized remaining parcel which is zoned Neighborhood Commercial.
4. Determine if there is a need to include an additional trash enclosure for the additional facilities and or vacuum stations.

If you have any questions or comments or require additional information, please do not hesitate to contact me at 782-7134.

Sincerely,

Thomas A. Dallaire, P.E.
Gardnerville Town Manager

Item 11

October 7, 2014

Attn: Lucille Rao, Junior Planner
Douglas County Community Development
1594 Esmeralda Avenue
PO Box 218
Minden, NV 89423

Re: DA 14-054 Design Review Application – APN's 1220-03-310-001 & 1220-03-301-001 - Grand Prix Car wash is expanding the existing business and operation to include 2 RV Wash bays and a single indoor dog wash bay. The request is being made on Neighborhood Commercial zoned property, located within the town of Gardnerville.

The town board has heard the application at the October 7, 2014 board meeting and they have _____ the application with the following comments and conditions:

1. The proposed Buildings, as proposed do match the existing buildings in the facility. This building is taller than the existing structures on site. There is a lot of surface area to be painted CMU block. Please add veneer to accent the building or other treatments to the building façade.
2. Will this increase in bay require additional trash service. There is currently two bins onsite now and picked up twice per week. Will there be a need for another trash enclosure for this addition?
3. Please provide a pedestrian link to the highway sidewalk.
4. The following Standard Town Conditions of Approval shall apply:
 - a. All administrative, engineering, or legal fees incurred by the Town in connection with reviewing the project shall be reimbursed and paid to the Town.
 - b. Improvement plans shall be reviewed and approved by the Town.
 - c. Construction runoff and dewatering practices shall be in accordance with the appropriate permits obtained from the Nevada Division of Environmental Protection. Discharge into existing Town storm drain systems will only be allowed upon written approval from the Town, and will be subject to discharge quality and storm drain cleaning requirements as set forth by the Town.
 - d. The Town will not assume maintenance of any on-site storm drainage improvement proposed in this application. Operation and maintenance of all on-site improvements shall be the responsibility of the property owner.

If you have any questions or comments or require additional information, please do not hesitate to contact me at 782-7134.

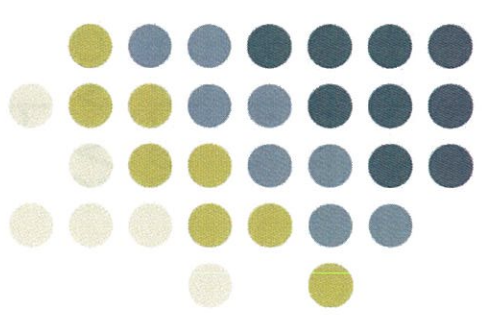
Sincerely,

Thomas Dallaire, P.E., Gardnerville Town Manager

Item 12

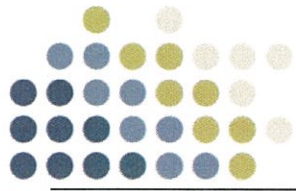
**Grand Prix Car Wash
Special Use Permit & Design Review
for Charles & Janice Kriss**

Gardnerville Town Board
October 7, 2014

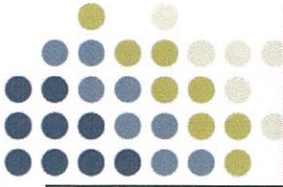


Request

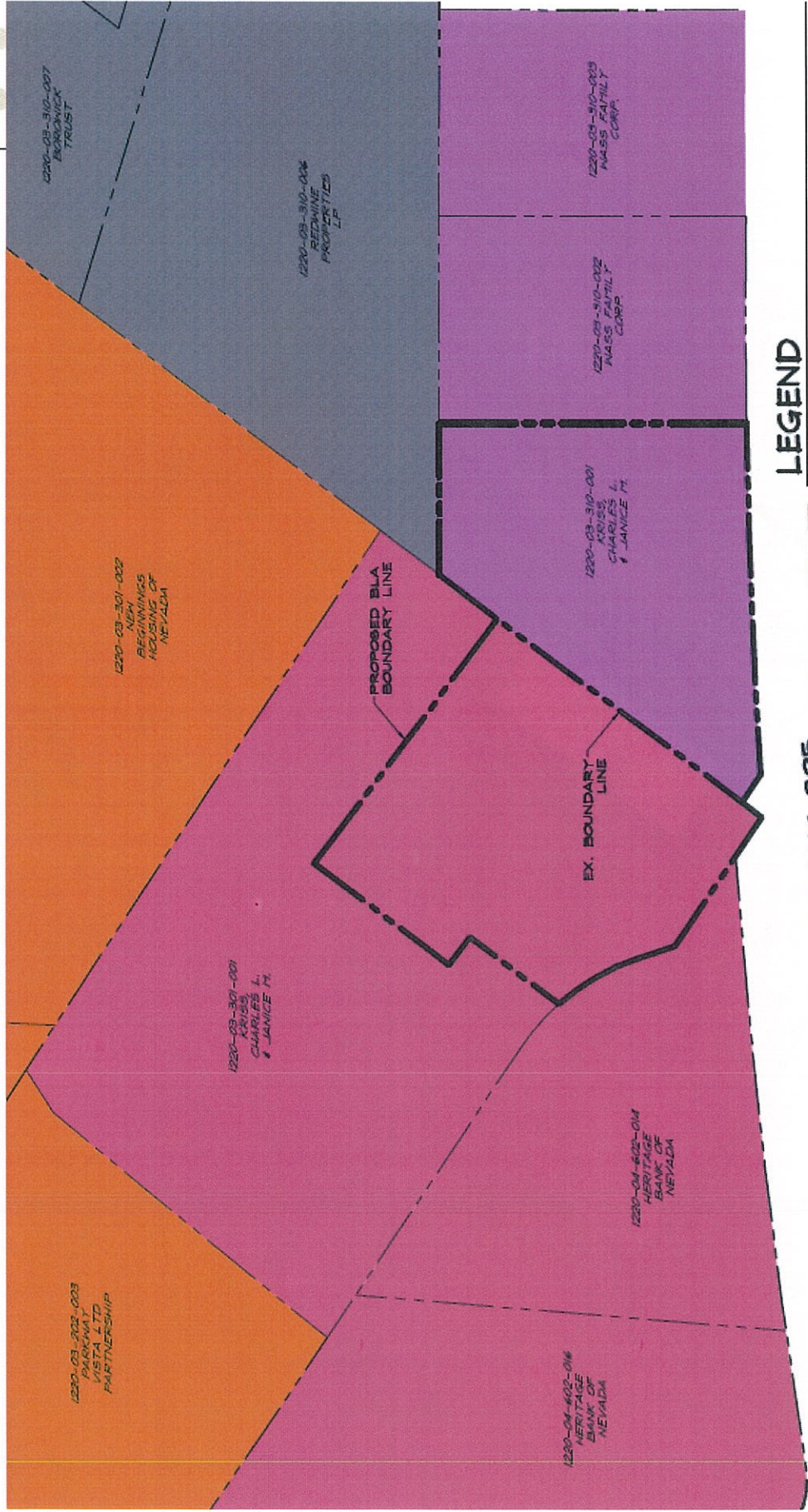
- Special Use Permit and Design Review for parking and access improvements, as well as the addition of two RV wash bays and a dog wash bay





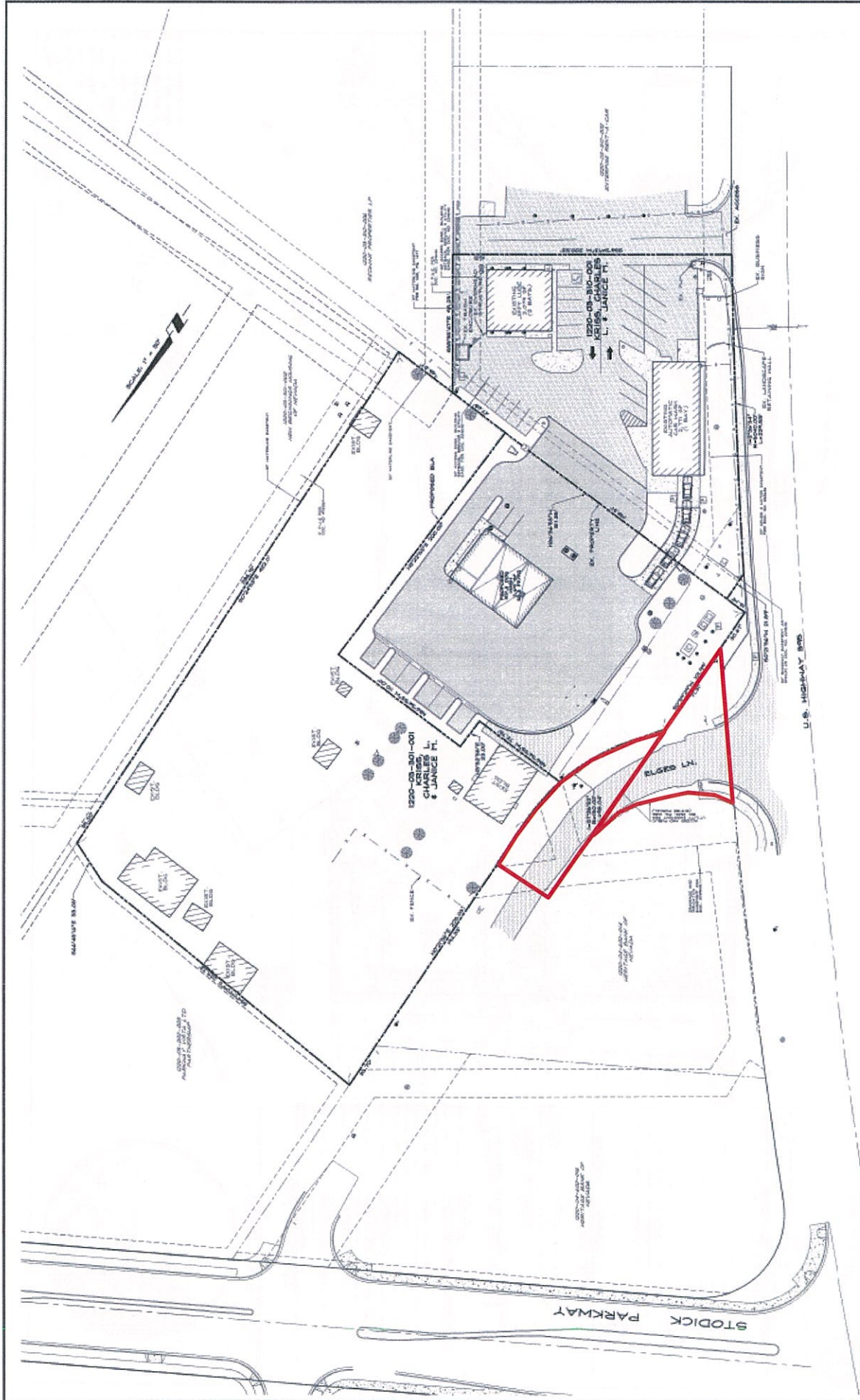


Zoning & BLA



LEGEND

- NEIGHBORHOOD COMMERCIAL (NC)
- GENERAL COMMERCIAL (GC)
- MULTI-FAMILY RESIDENCE (MFR)
- SERVICE INDUSTRIAL (SI)



NO. / DATE	REVISION BLOCK	REV.	

SCALE: 1" = 30'

R|O|Anderson

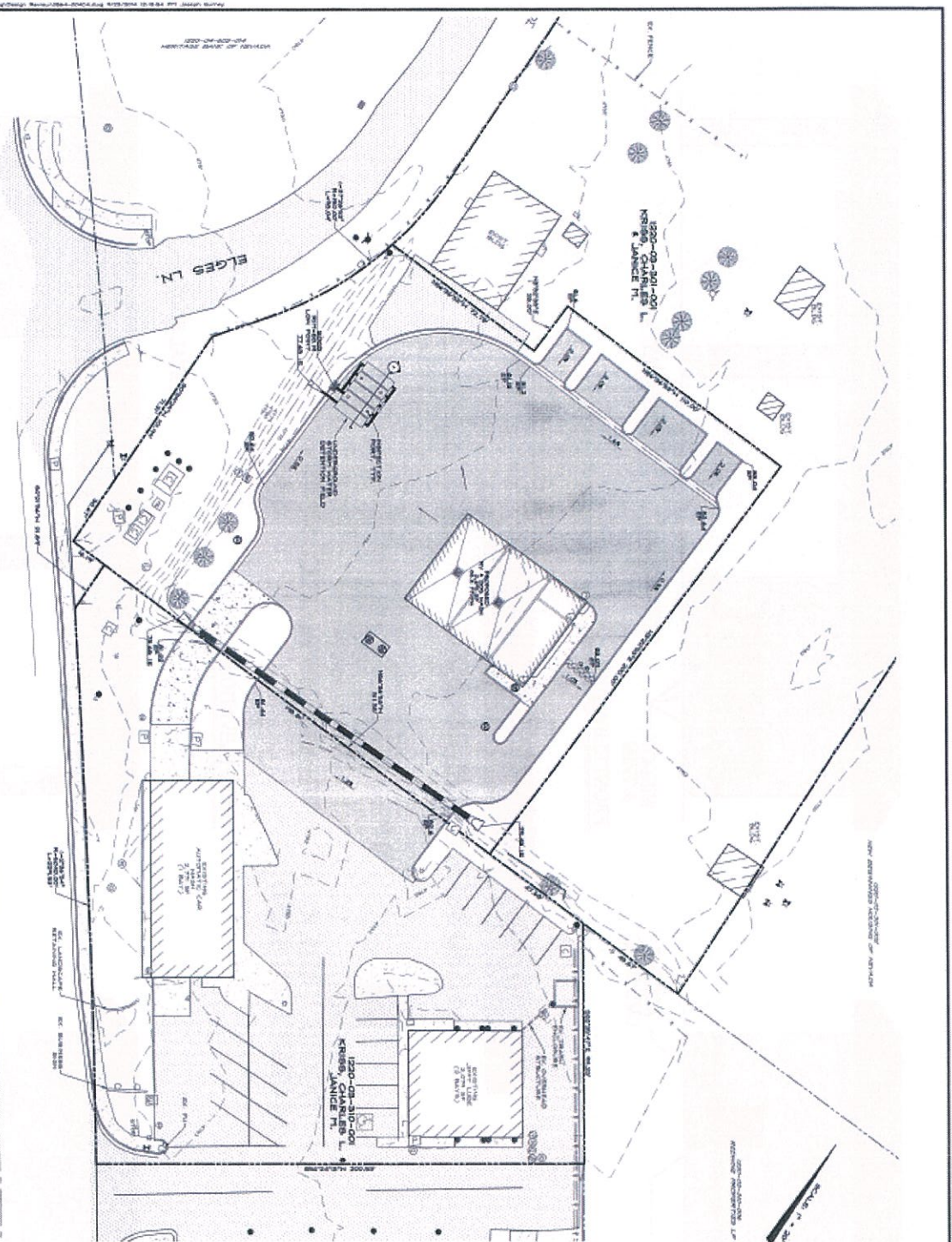
1220-03-301-001
CHARLES L. KRISS, CHARLES L. & JANICE H.

OVERALL SITE PLAN

GRAND PRIX CAR WASH
CHARLES and JANICE KRISS

PROFESSIONAL ENGINEER
STATE OF MICHIGAN
NO. 24577
R. O. ANDERSON
DATE: 4/20/14 CH. 4 SHEET: C2

R|O|Anderson



NO.	DATE	REVISIONS
1		REVISION BLOCK
2		REV

SCALE 1" = 20'

ROAnderson
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 12456
 STATE OF MISSISSIPPI

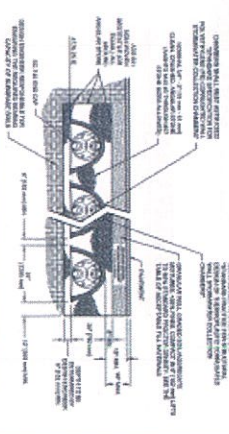
GRAND PRIX CAR WASH
 CHARLES and JANICE KRISS

GRADING PLAN

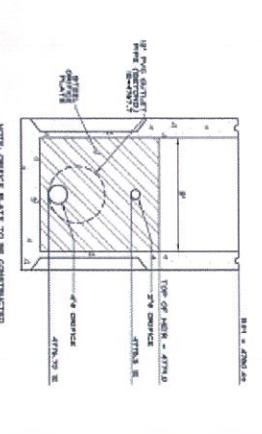
DESIGN: JAS. DICKSON
 ENGINEER: CHM. DICKSON
 SCALE: 1" = 20'
 DATE: 02/28/14 OR 3 SHEETS

- SPECIFIC GRADING PLAN NOTES**
- 1. OPEN, UNDEVELOPED AREAS TO BE REVEALED.
 - 2. ALL FIVE SLIPS IN ANY DIRECTION WITHIN ADA LANDSCAPING.
 - 3. DRAINAGE TO EXISTING GROUND AT 5% TYPICAL UNLESS NOTED OTHERWISE.
 - 4. 1% TO 2% SLOPE.
 - 5. 5:1 TO 3:1 SLOPE SLOTTED.
 - 6. DETERMIN FIELD SLOTTED FINISHING, SEE DETAIL, UNLESS OTHERWISE NOTED.
 - 7. SEE DETAIL FOR FIELD FINISHING.
 - 8. SEE DETAIL FOR FIELD FINISHING.
 - 9. SEE DETAIL FOR FIELD FINISHING.
 - 10. SEE DETAIL FOR FIELD FINISHING.
- GENERAL GRADING PLAN NOTES**
- 1. ALL LOCATIONS SHOWN ON THIS PLAN ARE TO BE GRADDED TO THE FINISHED GRADE UNLESS OTHERWISE NOTED.
 - 2. ALL AREAS TO BE REVEALED, UNLESS OTHERWISE NOTED.

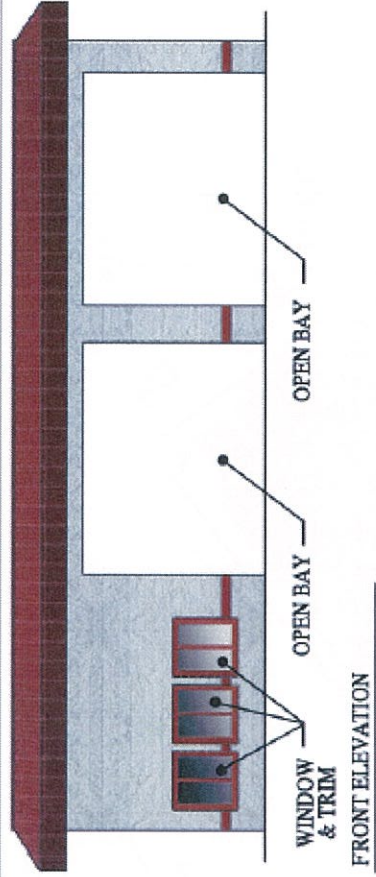
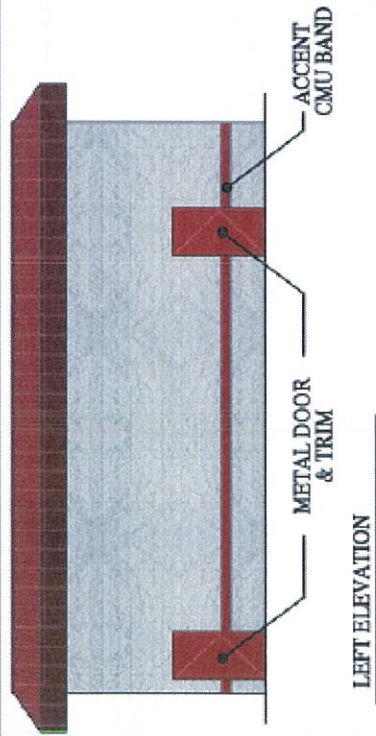
DETENTION FIELD CHAMBERS SECTION (A)
 NO SCALE



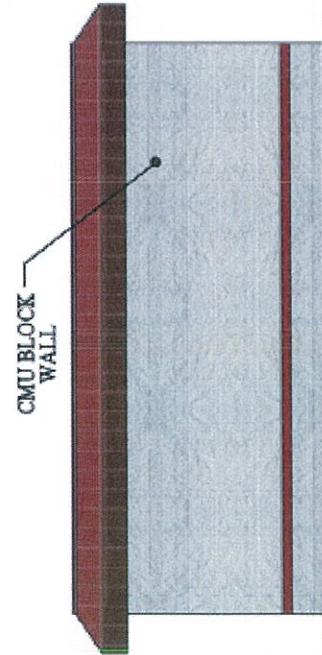
DETENTION FIELD OUTLET DETAIL
 NO SCALE



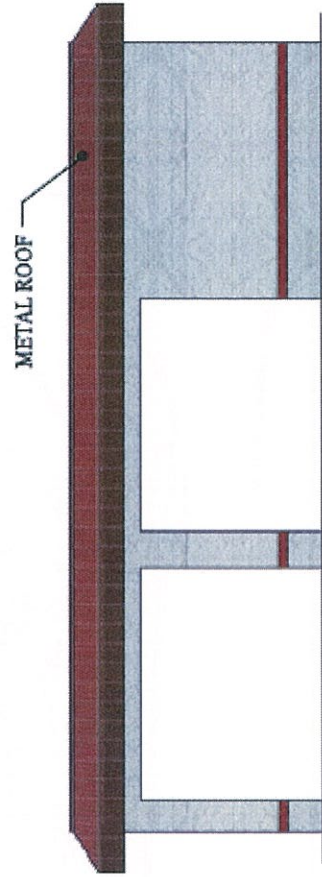
ROAnderson



RIGHT ELEVATION



REAR ELEVATION

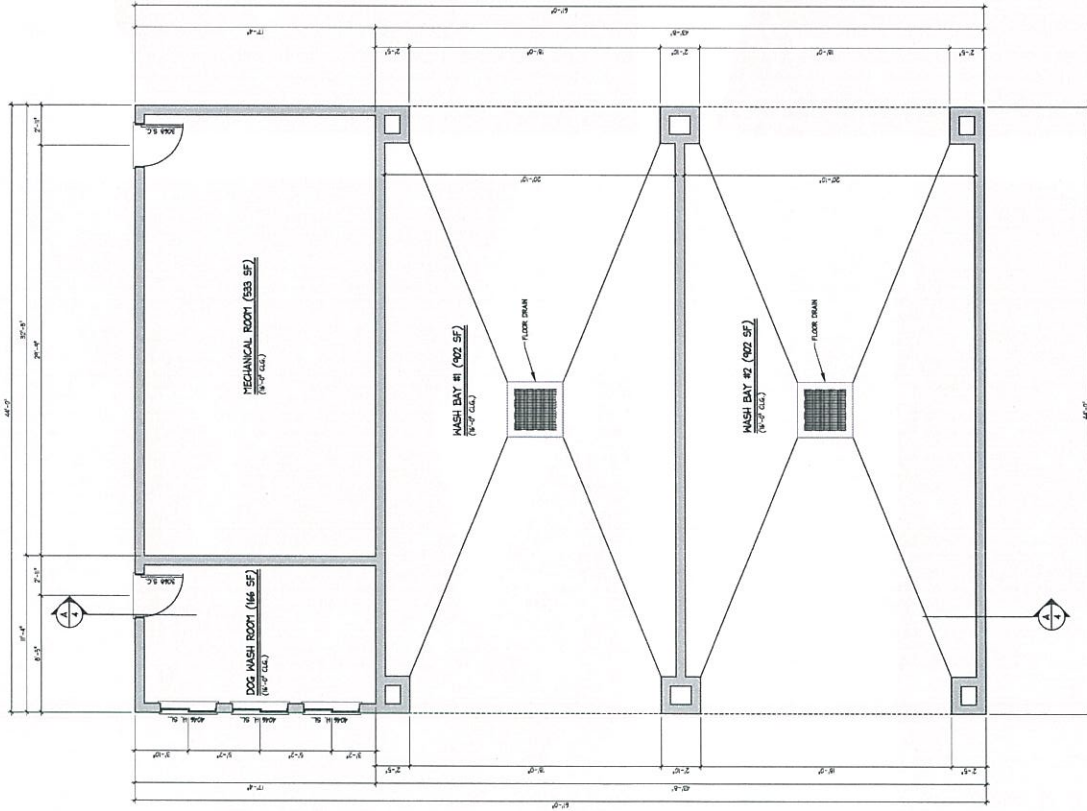


*ALL COLORS & MATERIALS TO MATCH EXISTING CAR WASH BUILDING



ARCHITECTURAL MATERIALS BOARD **R|O|Anderson**





PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

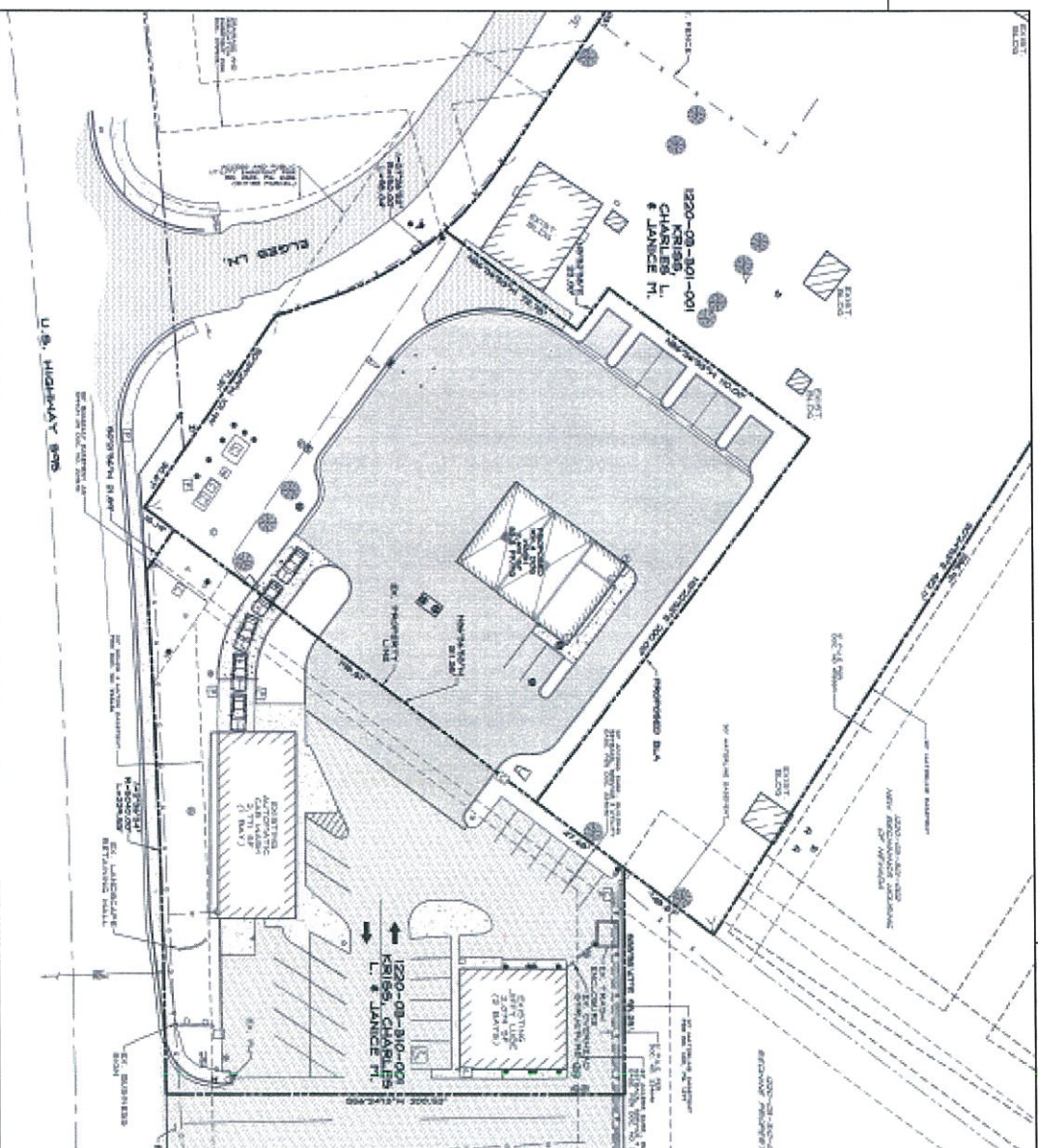
NOTES:
 ALL WORK FURNISH SHALL CONFORM TO ALL LOCAL AND ALL LOCAL GOVERNING CODES, REGULATIONS, ORDINANCES, AND SPECIFICATIONS.
 ALL MATERIALS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE USE.
 ALL DIMENSIONS ARE TO STUD FACE UNLESS OTHERWISE NOTED.
 ALL JOINTS IN FINISHES SHALL BE CHASED TO 1/2" AND FINISHED WITH AN APPROPRIATE JOINT COMPOUND.
 ALL DIMENSIONS ARE TO STUD FACE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO STUD FACE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO STUD FACE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO STUD FACE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO STUD FACE UNLESS OTHERWISE NOTED.

NO. / DATE	REVISION / TRACK	BY	 SCALE: 1/4" = 1'-0"	 R O Anderson <small>14885 BRIDGEWAY, SUITE 100, CHARLOTTE, NC 28227 PHONE: 704.376.3333 FAX: 704.376.3334 WWW.ROANDERSON.COM</small>	GRAND PRIX CAR WASH CHARLES and JANICE KRISS	PROPOSED FLOOR PLAN 1301 STODICK PY. A.P.N. 1220-03-301-001 & 310-001	JOB: 2024-004-004 DRAWING: DGMFP SHEET: 1 SCALE: R.V. 1/4" = 1'-0" DATE: 10/15/24	DRAWN: H.A.N. ENGINEER: R.V. 1/4" = 1'-0" DATE: 10/15/24
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R|O Anderson

Closing

- Request approval of special use permit and design review for parking and access improvements, as well as the addition of two RV wash bays and a dog wash bay.



Gardnerville Town Board

AGENDA ACTION SHEET



1. **For Possible Action:** Discussion to award, reject or modify Bid 2014-21 for the 2014 Annual Street Sealing; with public comment prior to Board action.

2. **Recommended Motion:** Motion to modify the bid 2014-21 to include up to \$95,000 worth of street sealing for the 2014 annual Street Sealing project.

Funds Available: Yes N/A

3. **Department:** Administration

Prepared by: Tom Dallaire

4. **Meeting Date:** October 7, 2014 **Time Requested:** 5 minutes

5. **Agenda:** Consent Administrative

Background Information: A single bid was received from Kustom Koatings and the core bid plus alternate bid exceeded the budgetary allotment when combined with the excess funds moving forward from last fiscal year. Staff reviewed the roads in the field and selected roads that did not have a slurry seal on them or ones we felt could be treated during next year treatment project. A new plan is attached that covers a combination of all three desired areas that meet the budget for this project in the amount \$94,577.08. Much of the 2008 overlay project is overdue for a rejuvenator spay and this overall bid exceeds the 2014-2015 budgeted amount of \$50,000 for road maintenance. Funding was identified from last year's budget that was not used so a larger street sealing project could be contracted this fiscal year. It is a little late in the season, and they do plan on starting the work the week of October 20th. Should that not happen for any reason, we anticipate this project being done next spring.

2014	Admin:	\$10,505
	Parks:	\$ 5,090
	Public Works:	\$58,577

2015	Public works:	\$20,828
Project total:		\$95,000

6. **Other Agency Review of Action:** Douglas County N/A

7. **Board Action:**

Approved Approved with Modifications
 Denied Continued

BID SCHEDULE 2014-21

BASE BID- Downtown Area

ITEM NO.	DESCRIPTION	UNIT	UNIT PRICE	EXT. TOTAL
1	Mobilization			
2	Traffic Control	1 unit	6000. ⁰⁰	6000. ⁰⁰
3	GSB-78 pavement rejuvenator and sealer	1 unit	6300. ⁰⁰	6300. ⁰⁰
4		541,362 ft ²	\$.09	48,722. ⁵⁸
5				
GRAND TOTAL				\$61022.⁵⁸

ALTERNATE SCHEDULE "A" Heritage Park Area

ITEM NO.	DESCRIPTION	UNIT	UNIT PRICE	EXT. TOTAL
1	Traffic Control			
2	GSB-78 pavement rejuvenator and sealer	160,167 ft ²	\$ 1900. ⁰⁰	\$ 1900. ⁰⁰
3			\$.09	14,415. ⁰³
4				
GRAND TOTAL				\$16,315.⁰³

ALTERNATE SCHEDULE "B" Toiyabe Area

ITEM NO.	DESCRIPTION	UNIT	UNIT PRICE	EXT. TOTAL
1	Traffic Control			
2	GSB-78 pavement rejuvenator and sealer	1 unit	\$ 5200. ⁰⁰	\$ 5200. ⁰⁰
3		451,942 ft ²	\$.09	40,674. ⁷⁸
4				
GRAND TOTAL				\$45,874.⁷⁸

TOTAL OF BASE BID "A" (numbers) \$ 61,022.⁵⁸

(words) SIXTY-ONE THOUSAND TWENTY-TWO DOLLARS & FIFTY-EIGHT CENTS

TOTAL OF ALTERNATE SCHEDULE "A" (numbers) \$ 16,315.⁰³

(words) SIXTEEN THOUSAND THREE HUNDRED FIFTEEN DOLLARS & THREE CENTS

TOTAL OF ALTERNATE SCHEDULE "B" (numbers) \$ 45,874.⁷⁸

(words) FORTY-FIVE THOUSAND EIGHT HUNDRED SEVENTY DOLLARS & SEVENTY-EIGHT CENTS

TOTAL
\$123,212.³⁹

CHECK ONE:

We qualify and claim the Preferential Bidder Status as specified in NRS 338.1389 or 147, and have attached the appropriate certificate in accordance with the requirements of NRS 338.1389 or 147.

We do not qualify for the Preferential Bidder Status as specified in NRS 338.1389 or 147.

Contractor:

KUSTOM COATINGS, INC.

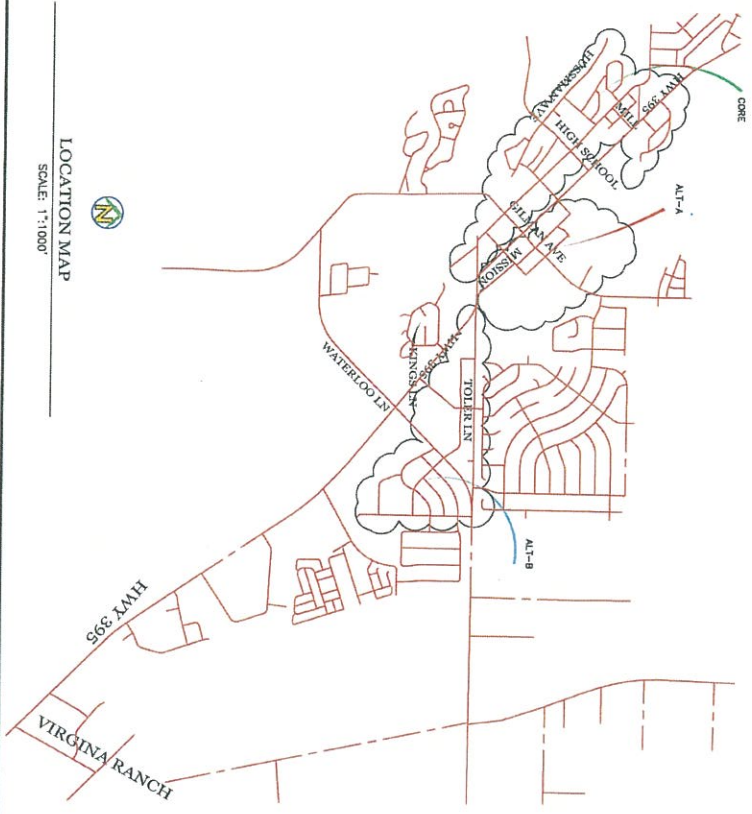
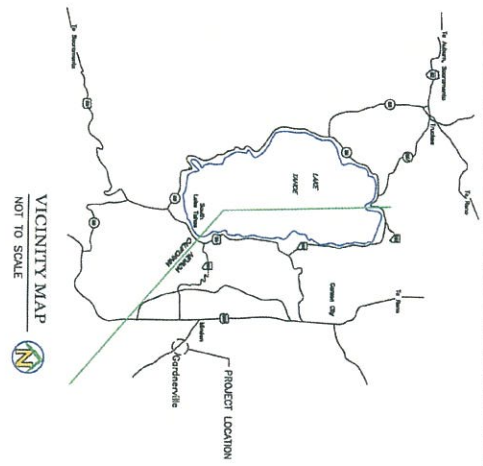
Authorized Signature:



TOWN OF GARDNERVILLE

2014 ANNUAL STREET SEALING

TOWN PROJECT NO. : 2014-21



ALL DRAWINGS, SPECIFICATIONS, AND OTHER TECHNICAL REQUIREMENTS ASSOCIATED WITH THE PROJECT AND UPGRADES ARE HEREBY PRESENTED TO THE TOWN OF GARDNERVILLE UNDER THE SUPERVISION OF RESPONSIBLE PROFESSIONAL(S) HAVING THE APPROPRIATE LICENSE AND IN ACCORDANCE WITH THE STATE OF NEVADA PROVISIONS OF THE REGISTERED STATUTES (NRS) AND THE NEVADA ADMINISTRATIVE CODE (NAC) INCLUDING COMPLIANCE WITH STATUTORY AND RELATED ADMINISTRATIVE AND CONFIRMATION INCLUDING HEREBY PROVIDED BY THE RESPONSIBLE PROFESSIONAL(S) IN THE FORM OF A STAMP OR SEAL PLACED ON THE PROJECT DOCUMENTS.

16-3

SHEET INDEX

SHT. NO.	DRAWING TITLE
G-01	COVER SHEET
G-02	GENERAL NOTES, SPECIFICATIONS, AND LEGEND
C-01	CORE + ALT-A
C-02	ALT-B

APPROVALS:

THOMAS A. DALLAGE, P.E.
TOWN MANAGER/TOWN ENGINEER

DATE



COVER SHEET
PROJECT NO: 2014 ANNUAL STREET SEALING
GARDNERVILLE, NV

SHEET NO: G-01

1407 Highway 395 N
Gardnerville, NV 89410
P: 775.782.7134
F: 775.782.7135
www.gardnerville.nv.gov

SCALE:	REVISIONS			
DESIGN:	NO.	DESCRIPTION	DATE	BY
NTS				
GAL				
GAL				
TAD				
TAD				
DATE:	8/26/2014			

GRADING PLAN GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, OSHA REQUIREMENTS FOR EXCAVATION, THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" LATEST EDITION, DOUGLAS COUNTY STANDARDS, TOWN OF GARDNERVILLE STANDARDS. VIOLATIONS SHALL RESULT IN THE STOPPAGE OF ALL WORK UNTIL THE VIOLATION IS CORRECTED.
2. NO WORK SHALL BE STARTED WITHOUT FIRST NOTIFYING THE TOWN MANAGER AND ADJACENT PROPERTY OWNERS 48 HOURS PRIOR TO COMMENCING WITH THE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ENGINEER OF ANY DISCREPANCIES IN THE IMPROVEMENT PLANS.
4. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING CONSTRUCTION OF IMPROVEMENTS
5. DUST SHALL BE CONTROLLED BY THE CONTRACTOR TO THE SATISFACTION OF THE TOWN AND IN ACCORDANCE WITH THE AIR QUALITY PERMIT FROM THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION WHEN REQUIRED.

GENERAL SITE NOTES

1. ALL MATERIALS FURNISHED AND WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", TOWN OF GARDNERVILLE STANDARDS, DOUGLAS COUNTY STANDARDS AND ANY OTHER REQUIREMENTS AND STANDARDS OF LOCAL AGENCIES, UTILITY COMPANIES, INTERNATIONAL BUILDING CODES, ORDINANCES AND OTHER CODES OR REGULATIONS THAT MAY APPLY.
2. ALL STREETS SHALL BE MAINTAINED FREE OF DUST AND MUD CAUSED BY GRADING OPERATIONS. ALL OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE STORMWATER DISCHARGE PERMIT FROM THE DIVISION OF ENVIRONMENTAL PROTECTION.
3. ALL DAMAGED CURB, GUTTER AND SIDEWALK IS TO BE REPLACED TO CODE AT CONTRACTORS EXPENSE. CONTACT GARDNERVILLE CIVIL ENGINEER 1, GEOFFREY LACOST, 782-7134, FOR FIELD REVIEW.
4. THE CONTRACTOR SHALL MAINTAIN A CLEAN PROJECT SITE, REMOVING CONSTRUCTION DEBRIS AT THE END OF EACH ACTIVITY DAY. THE CONTRACTOR SHALL MAINTAIN DEBRIS FREE CONSTRUCTION ROUTES, ADJACENT STREET AND STORMDRAIN SYSTEMS. A DEPOSIT MAY BE CHARGED TO THE PROJECT BY THE TOWN FOR EACH INSTANCE THE TOWN'S INFRASTRUCTURE IS NOT MAINTAINED. IN THE EVENT THAT THE CONTRACTOR DOES NOT COMPLY WITH THE REQUIREMENT, THE TOWN MAY REMOVE THE DEBRIS OR REPAIR THE INFRASTRUCTURE AND CHARGE THE PROJECT FOR THE COST.
5. NO BUILDING OR CONSTRUCTION MATERIALS OR STORAGE OF ANY KIND IS ALLOWED IN THE TOWN'S RIGHT OF WAY WITHOUT PRIOR APPROVAL.
6. ALL AC PAVEMENTS SHALL COMPLY WITH THE STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION FOR SURFACE TOLERANCES, SECTION 320.06.01. ADDITIONALLY, THE PREPARED SURFACE PRIOR TO SEAL COAT SHALL BE SMOOTH AND UNIFORM AND FREE FROM ALL ROCK POCKETS AND LOOSE AGGREGATE.
7. ALL WORK AREAS SHALL BE CLEAN PRIOR TO FINAL INSPECTION AND QUANTITY VERIFICATION.

LEGEND

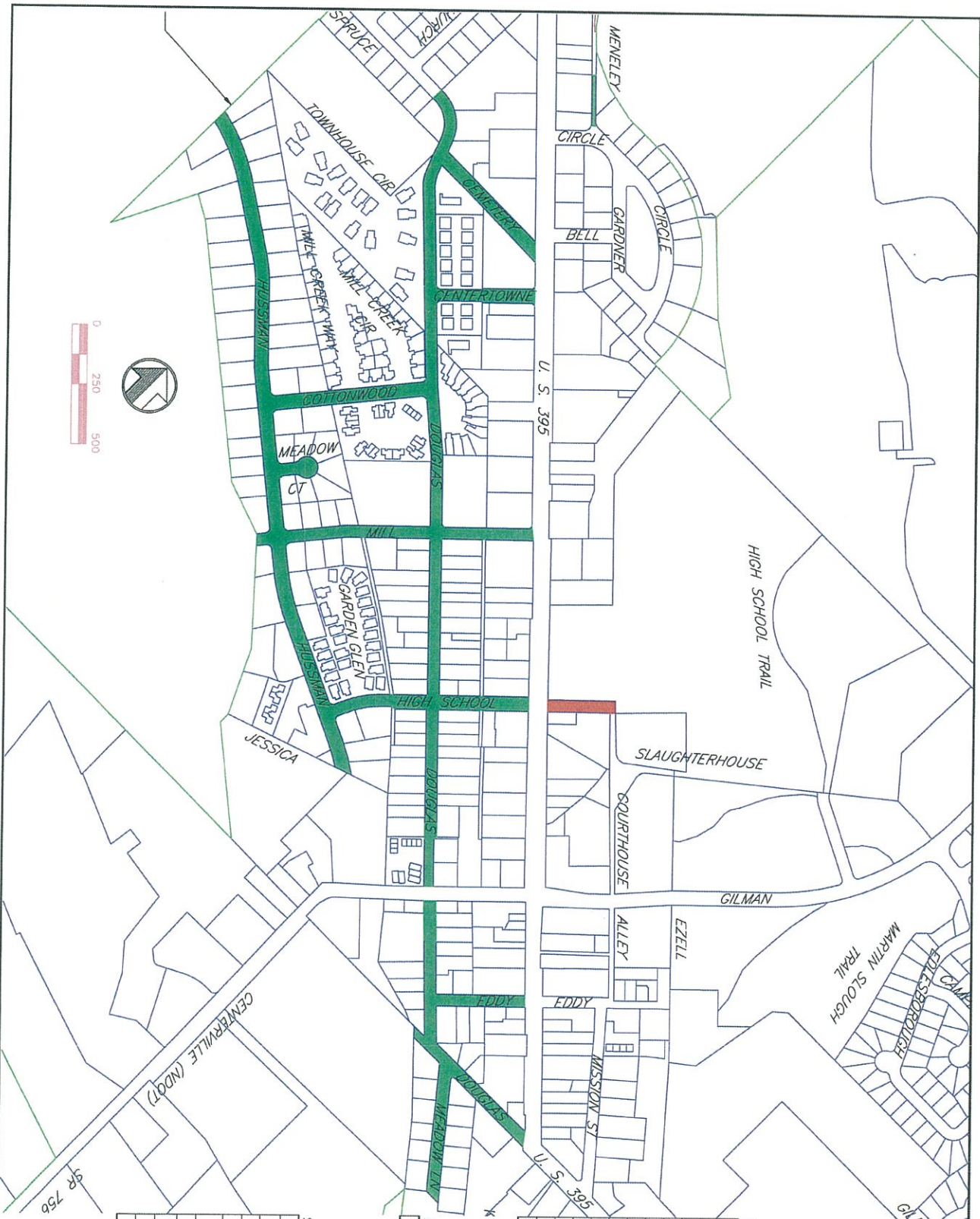
- AC..... ASPHALT CONCRETE
- IN()..... INCHES
- FT()..... FEET
- LF..... LINEAR FEET
- S..... SURVEY MARKER
- SS..... MANHOLE
- TYP..... TYPICAL
- WV..... Water Valve
- CORE AREA FOR PAVEMENT SEALING
- ALT-A AREA FOR PAVEMENT SEALING
- ALT-B AREA FOR PAVEMENT SEALING

16-9

<p>GENERAL NOTES AND SPECIFICATIONS</p> <p>PROJECT FILE # 2014 ANNUAL STREET SEALING</p> <p>GARDNERVILLE, NV</p>	 <p>1407 Highway 395 N Gardnerville, NV 89410 P: 775.782.7134 F: 775.782.7135 www.gardnerville-nv.gov</p>	<p>SCALE: NTS</p> <p>DESIGN: GAL</p> <p>DRAWN: CAL</p> <p>CHECKED: TAD</p> <p>APPROVED: TAD</p> <p>DATE: 2/13/2014</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="4">REVISIONS</th> </tr> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS				NO.	DESCRIPTION	DATE	BY								
REVISIONS																			
NO.	DESCRIPTION	DATE	BY																

C-02

SHEET NO.



LEGEND

CORE
 ALT-A
 ALT-B

Core Approx. AREA (SF)

STREET IDENTIFICATION	AREA (SF)
Cemetery	14,170
Center Towne	15,318
Spruce	9,892
Douglas Ave	155,344
Cottonwood	28,319
Hussman	116,242
Meadow Ct	7,650
Mill	38,443
High	29,067
Eddy	11,850
Meadowlane	21,384
Menelley	3,300
Total	450,978

Alt-A Approx. AREA (SF)

STREET IDENTIFICATION	AREA (SF)
High School Street	13,616
Total	13,616

Alt-B Approx. AREA (SF)

STREET IDENTIFICATION	AREA (SF)
Toler	119,150
Mountain Ct	5,632
Tobyabe	110,525
Lampe	37,047
Kittyhawk	41,064
Arteres	25,974
Apollo	18,056
Village	32,412
Eiges Path	1,960
Total	391,820

CORE + ALT-A
 2014 ANNUAL STREET SEALING
 GARDNERVILLE, NV

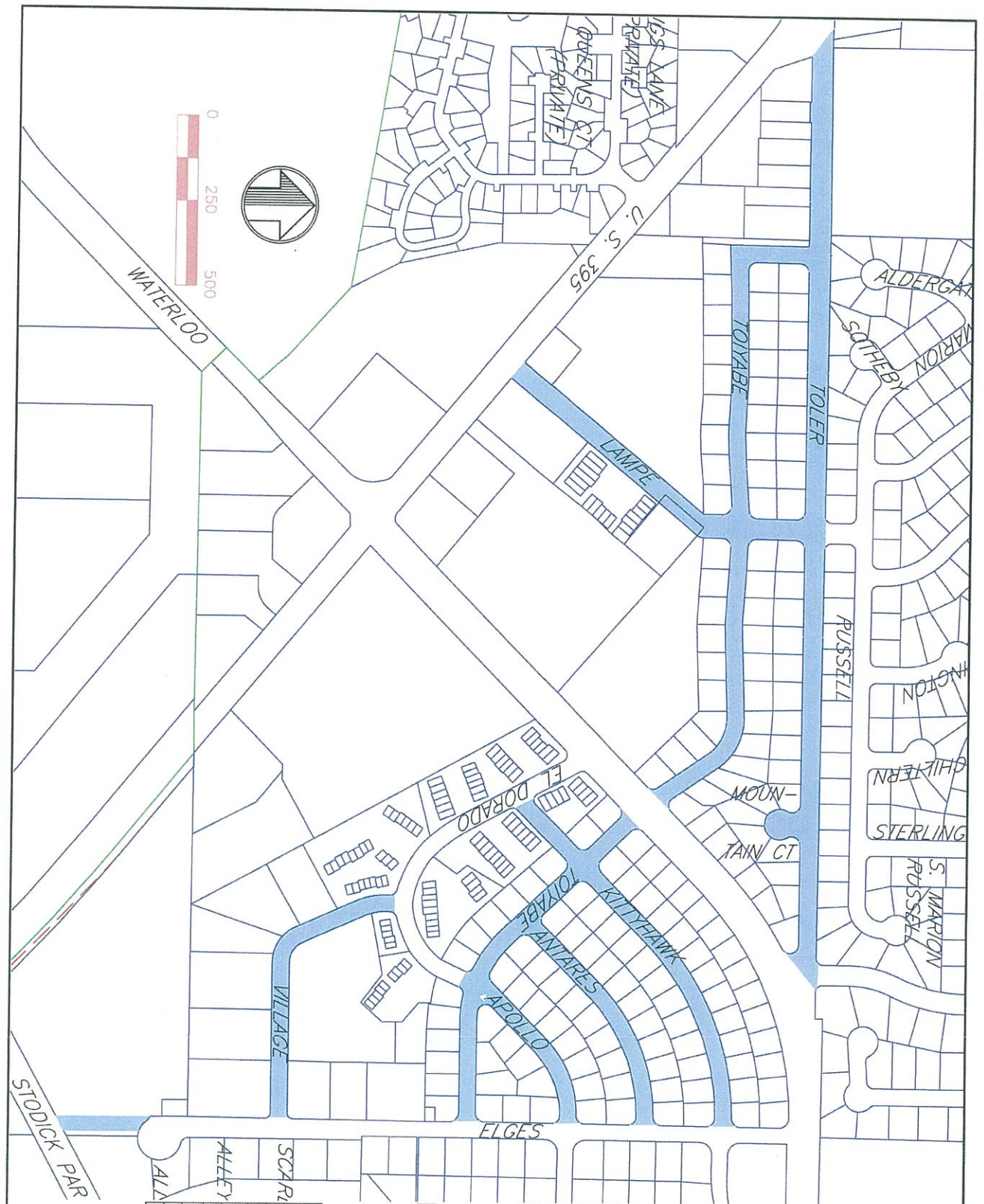
Town of Gardnerville Nevada
 1407 Highway 395 S
 Gardnerville, NV 87410
 P: 775.782.2134
 F: 775.782.2135
 www.gardnerville-nv.gov

SCALE: AS SHOWN
 DESIGN: GAL
 DRAWN: GAL
 CHECKED: TAD
 APPROVED: TAD
 DATE: 8/26/2014

16.5

REVISIONS			
NO.	DESCRIPTION	DATE	BY

C-01



Core Approx.

STREET IDENTIFICATION	AREA (SF)
Cemetery	14,170
CenterTowne	15,318
Spruce	9,892
Douglas Ave	155,344
CottonWood	28,319
Hussman	116,242
MeadowCt	7,650
Mill	38,443
High	29,067
Eddy	11,850
Meadowlane	21,384
Merley	3,300
Total	450,978

Alt-A Approx.

STREET IDENTIFICATION	AREA (SF)
High School Street	13,616
Total	13,616

Alt-B Approx.

STREET IDENTIFICATION	AREA (SF)
Toler	119,150
Mountain Ct	5,632
Toyabe	110,525
Lampe	37,047
Kittyhawk	41,064
Antares	25,974
Apollo	18,056
Village	32,412
Elges Path	1,960
Total	391,820

PROJECT NO. 2014 ANNUAL STREET SEALING
 SHEET NO. C-02
 GARDNERVILLE, NV

1407 Highway 295 N
 Gardnerville, NV 89410
 P: 775.782.7134
 F: 775.782.7135
 www.gardnerville-nv.gov

SCALE: AS SHOWN
 DESIGN: GAL
 DRAWN: GAL
 CHECKED: TAD
 APPROVED: TAD
 DATE: 8/26/2014

REVISIONS			
NO.	DESCRIPTION	DATE	BY

16-6

Project:
1421 Annual Street Sealing
Town of Gardnerville

Plan	Street Name	Actual Measured			Cost
		Width Feet	Length Feet	Area Feet ²	
Core	Circle1	36	1127	40572	\$ 3,651
Core	Circle2	36	151	5436	\$ 489
Core	Gardner	37.5	648	24300	\$ 2,187
Core	Bell	47	252	11844	\$ 1,066
Core	Cemetery	26	545	14170	\$ 1,275
Core	CenterTowne	37	414	15318	\$ 1,379
Core	Spruce2	36.5	271	9891.5	\$ 890
Core	Douglas1	36.5	3085	112602.5	\$ 10,134
Core	Douglas4	36.5	1171	42741.5	\$ 3,847
Core	CottonWood	43.5	651	28319	\$ 2,549
Core	Hussman2	41.5	1317	54656	\$ 4,919
Core	Hussman1	41.5	1484	61586	\$ 5,543
Core	MeadowCt	36.5	82	7650	\$ 688
Core	Mill2	37	1039	38443	\$ 3,460
Core	High2	37	638	23606	\$ 2,125
Core	High3	33.5	163	5460.5	\$ 491
Core	Eddy2	33	330	11850	\$ 1,067
Core	Meadowlane	37	552	21384	\$ 1,925
Core	Meneley	15	220	3300	\$ 297

Total Area 529,829
Total Cost \$ 47,685
ToDo Area 450,977
ToDo Cost \$ 40,588

Plan	Street Name	Actual Measured			Cost
		Width Feet	Length Feet	Area Feet ²	
Alt-A	Martin Slough Trail	8	1160	9,280	\$ 835
Alt-A	Highschool Trail	10	745	7,450	\$ 671
Alt-A	Ezell1	17	508	8,636	\$ 777
Alt-A	Ezell2	19	261	4,959	\$ 446
Alt-A	Ezell3	36.5	181	6,607	\$ 595
Alt-A	Slaughterhouse	17	200	3,400	\$ 306
Alt-A	Courthouse Alley1	18.5	343	6,346	\$ 571
Alt-A	Courthouse Alley2	37	693	25,641	\$ 2,308
Alt-A	High1	36.7	371	13,616	\$ 1,225
Alt-A	Eddy1	29	229	6,641	\$ 598
Alt-A	Eddy Variation	34.5	258	8,901	\$ 801
Alt-A	Mission	35.5	775	27,513	\$ 2,476

Total Area 128,988
Total Cost \$ 11,609
ToDo Area 13,616
ToDo Cost \$ 1,225

Plan	Street Name	Actual Measured			Cost
		Width Feet	Length Feet	Area Feet ²	
Alt-B	Toler1	39	1334	52026	\$ 4,682
Alt-B	Toler2	39	827	32253	\$ 2,903
Alt-B	Toler3	23	77	1771	\$ 159
Alt-B	Toler4	50	662	33100	\$ 2,979
Alt-B	Mountain Ct	65	15	5632	\$ 507
Alt-B	Tobyabe1	36.5	180	6570	\$ 591
Alt-B	Tobyabe2	36.7	1728	63418	\$ 5,708
Alt-B	Tobyabe3	37.5	1081	40538	\$ 3,648
Alt-B	Lampe1	30	255	7650	\$ 689
Alt-B	Lampe2	41	717	29397	\$ 2,646
Alt-B	KittyHawk1	36.5	234	8541	\$ 769
Alt-B	Kittyhawk2	37	879	32523	\$ 2,927
Alt-B	Anteres1	37	702	25974	\$ 2,338
Alt-B	Apollo1	37	488	18056	\$ 1,625
Alt-B	El Dorado	37	1008	37296	\$ 3,357
Alt-B	Village	37	876	32412	\$ 2,917
Alt-B	Elges past Culdesac	10	196	1960	\$ 176

Total Area 429,116
Total Cost \$ 38,620
ToDo Area 391,820
ToDo Cost \$ 35,264

Mobilization \$ 6,000
Traffic Control Core \$ 6,300
Core GSB-78 Product \$ 40,588
Traffic Control Alt-A
Alt-A GSB-78 Product \$ 1,225
Traffic Control Alt-B \$ 5,200
Alt-B GSB-78 Product \$ 35,264

Shaded is removed from project.

Traffic Control Alt-A cost removed per conversation with Kustom Koating

Areas measured by wheel and verified by Google Earth

Total Projected Cost \$ 94,577.08

16-7